



N64W23760 Main Street
Sussex, Wisconsin 53089
Phone (262) 246-5200
FAX (262) 246-5222
Email: info@villagesussex.org
Website: www.villagesussex.org

AGENDA
VILLAGE OF SUSSEX
PLAN COMMISSION MEETING
6:30 PM TUESDAY, DECEMBER 20, 2022
SUSSEX CIVIC CENTER – BOARD ROOM 2nd FLOOR
N64W23760 MAIN STREET

Pursuant to the requirements of Section 19.84, Wis. Stats., notice is hereby given of a meeting of the Sussex Plan Commission, at which a quorum of the Village Board may attend. If a Quorum is present the Chairperson shall state, "Please let the minutes reflect that a quorum of the Village Board is present and may be making comments during public comment or if the rules are suspended to allow so.)

1. Roll call.
2. Consideration and possible action on the minutes of the Plan Commission meeting of November 15, 2022.
3. Consideration and possible action on Permitted Uses and Plans:
 - a. Consideration and possible action on a Plan of Operation for Stagehand Furniture located at N36W22595 Main Street.
 - b. Consideration and possible action on a Plan of Operation for Stillwater Spa located at N64W24801, Ste 118, Main Street.
 - c. Consideration and possible action on a Plan of Operation for Captivate Exhibits, Inc. located at N56W24701 N Corporate Circle.
 - d. Consideration and possible action on a Plan of Operation for S&J Honey, LLC located at N63W23583 Main Street.
4. Conditional Use Public Hearing(s) and consideration and possible action on Conditional Use Permits and Plans on the following items:
 - a. Public hearing on a consideration of a Conditional Use Permit for a solar panel installation at W232 N6274 Waukesha Avenue.
 - b. Public hearing on a consideration of Conditional Use application for a commercial recreation facility located at N66W25201 County Highway VV.
5. Consideration and possible action on CSM's, Plats, Zoning and Planning Items:
 - a. Freiheit Court Cell Non-Substantial Modification Determination
 - b. Freiheit Court Plan of Operation Approval
 - c. Golden Fields of Sussex Subdivision Concept
 - d. Wildflower Subdivision Concept
 - e. Consideration and possible action of a final plat for Vista Run Addition No. 3.
 - f. Consideration and possible action of a final plat for Vista Run Addition No. 4.
6. Other items for future discussion.
7. Adjournment.

Anthony LeDonne
Chairperson

Jeremy J. Smith
Village Administrator

Please note that, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact the Village Clerk at 246-5200.

DISCLAIMER- THE FOLLOWING ARE DRAFT MINUTES FROM THE PLAN
COMMISSION AND ARE
SUBJECT TO CHANGE UPON APPROVAL OF THE PLAN COMMISSION
VILLAGE OF SUSSEX
SUSSEX, WISCONSIN

Minutes of the Plan Commission meeting held on November 15, 2022

Members present: Trustee Greg Zoellick, Commissioners Jim Muckerheide, Mike Knapp, Roger Johnson
Debbie Anderson, and Village President Anthony LeDonne

Members excused: Commissioner Mike Schulist

Others present: Community Development Director Gabe Gilbertson, Village Administrator Jeremy Smith,
Village Attorney John Macy.

A quorum of the Village Board was not present at the meeting.

Consideration and possible action on the minutes on the Plan Commission meeting of October 18, 2022.

A motion by Johnson, seconded by Anderson to approve the minutes of the Plan Commission meeting of
October 18, 2022 as presented. Motion carried 6-0

**Consideration and possible action on plan of operation for S&R Unlimited Construction LLC
(N63W23583 Main Street, Sussex, WI 53089).**

A motion by Johnson, seconded by Muckerheide to approve the plan of operation for S&R Unlimited
Construction LLC (N63W23583 Main Street, Sussex, WI 53089) subject to the standard conditions of Exhibit
A. Motion carried 6-0

**Public Hearing on a consideration of a Conditional Use Permit for a solar panel installation at W232N6274
Waukesha Avenue, Sussex, WI 53089**

Motion by LeDonne, seconded by Zoellick to table this public hearing to the December 20th Plan Commission
meeting as the petitioner is not present. Motion carried 6-0

**Consideration and possible action for a Conditional Use Permit for a solar panel installation at
W232N6274 Waukesha Avenue, Sussex, WI 53089**

Motion by LeDonne, seconded by Zoellick to reconsider the conditional use permit for a solar panel installation at
W232N6274 Waukesha Avenue, Sussex, WI 53089 at the next plan commission meeting on December 20, 2022 at
6:30pm as the petitioner is not present. Motion carried 6-0

**Consideration and possible action on an Ordinance to repeal and recreate Section 17.0506(A)(2)(C)
regarding Commercial Recreation Facilities in Section 17.0506 Conditional Use Permits**

A motion by Johnson, seconded by Anderson to recommend to the Village Board approval of an Ordinance to
repeal and recreate Section 17.0506(A)(2)(C) regarding Commercial Recreation Facilities in Section 17.0506
Conditional Use Permits to allow for Commercial Recreation Facilities as a Conditional Use in the B-1 and B-2
Zoning Districts.

Motion carried 6-0

Introduction of a Plan of Operation and Conditional Use application for a commercial recreation facility located at N66W25201 County Highway VV.

Motion by LeDonne, seconded by Johnson to schedule a public hearing on the Conditional Use Order for the December Plan Commission meeting subject to the Applicant submitting the Impact Statement and a narrative describing the proposed use prior to the December public hearing.

Motion carried 6-0

Consideration and possible action recommending a Rezoning Ordinance rezoning lands recently annexed into the Village of Sussex.

Motion by LeDonne, seconded by Johnson to direct staff to schedule the public hearing for the proposed Ordinance for the January Village Board meeting and to recommend the Village Board adopt the proposed ordinance.

Motion carried 6-0

Discussion on next steps for the Serv-Pro Plan of Operation.

The Plan Commission directed staff to send another certified letter outlining the steps if a Plan of Operation is not received.

Discussion on site/landscape plan for Tekila at Olde Brooke Square located at N63W23675 Main Street

The Plan Commission directed the Community Development Authority to review the Downtown Plan for possible update.

Adjournment

A motion by Zoellick, seconded by Muckerheide to adjourn the meeting at 7:30 p.m.

Motion carried 6-0

Respectfully submitted,
Jennifer Moore
Village Clerk



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Sussex, Wisconsin 53089
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Email: info@villagesussex.org
Website: www.villagesussex.org

MEMORANDUM

TO: Plan Commission
FROM: Gabe Gilbertson, Community Development Director
RE: Plan Commission meeting of December 20, 2022
DATE: December 6, 2022

All Code Sections in this memo refer to the March 25, 2014 Sussex Municipal Code Chapter 17 with subsequent amendments thereto.

02. Minutes of the Plan Commission meeting of November 15, 2022.

03. Consideration and possible action on Permitted Uses and Site Plans:

A. Consideration and possible action on a Plan of Operation for Stagehand Furniture located at N36W22595 Main Street.

This site is zoned M-1 Industrial District. Stagehand Furniture and Home Furnishings is a resale store that offers a variety of furniture, artwork, and textiles. Stagehand Furniture does not employ anyone other than the owner and there are no hours of operation. Sales are online or by appointment only. The use would be permitted in accordance with Section 17.0422(A)(8)(a).

Parking code requires one stall per employee on the work shift and one stall per 5,000 square feet of space. The use would require 2 parking stalls. The site has 78 parking stalls and 55 stalls are allocated to the other users. If the business were to change their operations and have direct retail operations a new Plan of Operation would need to be submitted to be reviewed and approved by the Plan Commission.

The applicant has been notified that a permit will be required for the sign.

Policy Question:

1. Are there any concerns with the plan of operation?
2. Are there any property maintenance concerns that need to be addressed at this time?

Action Items:

1. Act on the Plan of operation

Staff Recommendation:

Staff recommends approval of the Plan of Operation for Stagehand Furniture and Home Furnishings located at N36W22595 Main Street, subject to the standard conditions of Exhibit A.

B. Consideration and possible action on a Plan of Operation for Stillwater Spa located at N64W24801, Ste 118, Main Street.

This site is zoned B-3 Highway Business District. Stillwater Spa provides a variety of services including massage, aesthetic treatments, and waxing. Stillwater Spa is a permitted use in the B-3 Highway Business District in accordance with section 17.0418(A)(5)(b). According to the application, the business would operate between the hours of 10:00 am and 6:00 pm Mondays, 9:00 am and 5:00 pm Tuesdays and Fridays, 9:00 am and 1:00 pm on Saturdays, and 10:00 am and 5:00 pm on Sundays.

The site has 102 parking stalls with 56 stalls allocated to the existing users. The owner would be the only employee and according to the Municipal Code, the use would require a total of 4 parking stalls for the employee and customers.

The applicant is proposing window signage that would display the business name and hours of operation. The Code permits up to 1/3 of a window or door to be covered and the applicant will be below that.

Policy Question:

1. Are there any concerns with the plan of operation?
2. Are there any property maintenance concerns that need to be addressed at this time?

Action Items:

1. Act on the Plan of operation

Staff Recommendation:

Staff recommends approval of the Plan of Operation for Stillwater Spa located at N64W24801, Ste 118, Main Street, subject to the standard conditions of Exhibit A.

C. Consideration and possible action on a Plan of Operation for Captivate Exhibits, Inc. located at N56W24701 N Corporate Circle.

This site is zoned BP-1 Business Park District. Captivate Exhibits, Inc builds and sells displays for trade shows and industry events. The proposed use is a permitted use in the BP-1 Business Park District in accordance with Section 17.0420(A)(3)(f). The application states that they custom build the displays according to their customers' specific applications.

The application states that there would be 26 employees on a shift and the hours of operation would be between 7:00 am and 5:30 pm Monday through Friday. The site has a total of 92 parking stalls and according to the Municipal Code, a total of one space per employees on the largest work shift is required, meaning a total of 26 spaces would be required. A monument sign is ultimately proposed for the property and the applicant will need to submit plans for the proposed monument sign.

Policy Question:

1. Are there any concerns with the plan of operation?
2. Are there any property maintenance concerns that need to be addressed at this time?
 - a. There is a significant amount of outdoor storage behind the subject building consisting largely of pallets. Outdoor storage in the BP-1 District is a CU. If the applicant wishes to have outdoor storage, a CUP will need to be obtained.

Action Items:

1. Act on the Plan of operation

Staff Recommendation:

Staff recommends approval of the Plan of Operation for Captivate Exhibits, Inc. located at N56W24701 N Corporate Dr, subject to the standard conditions of Exhibit A, and subject to the outdoor storage being removed prior to the applicant moving their business to the subject property or submitting the Conditional Use Permit application to begin that process.

D. Consideration and possible action on a Plan of Operation for S&J Honey LLC located at N63W23583 Main Street.

This site is zoned B-4 Central Mixed-Use District. S&J Honey LLC is a beekeeping business that extracts and sells honey products. The application states the office would be used to separate the business from their home. In addition to miscellaneous office uses related to the business, the applicant would store merchandise and packaging supplies in the space.

S&J Honey LLC is a permitted use in the B-4 Central Mixed-Use District in accordance with Section 17.0419(C)(9)(l). According to the application, there could be 2 employees operating between 9:00 am and 5:00 pm, Mon.– Sat. and 10:00 am and 5:00 pm on Sun. The site has 53 parking stalls, and 46 stalls are allocated to the other users. The Code requires a total of 3 parking stalls. If the use changes to retail and there would be customers visiting this location, the applicant will need to submit a new Plan of Operation. There is no signage proposed at this time.

Policy Question:

1. Are there any concerns with the plan of operation?
2. Are there any property maintenance concerns that need to be addressed at this time?

Action Items:

1. Act on the Plan of operation

Staff Recommendation:

Staff recommends approval of the Plan of Operation for S&J Honey LLC located at N63W23583 Main Street, subject to the standard conditions of Exhibit A.

04. Conditional Use Public Hearing(s) and consideration and possible action on Conditional Use Permits and Plans:

A. TABLED from November. Public Hearing on a CU Permit in accordance with section 17.0506(C)(4)(B) for the installation of a ground-mounted solar panel array in the B-4 Central Mixed Use Zoning District located at W232 N6274 Waukesha Ave.

Consideration and possible action on a Conditional Use application for a solar panel installation at W232 N6274 Waukesha Ave.

The property is zoned B-4 and under Section 17.0506(C)(4)(B), solar energy conversion systems may be permitted in any district with a Conditional Use Permit. The applicant is proposing to construct a solar panel array at the subject property that would be in the back yard and would be approximately 39’7” long and 10’7” wide and would stand approximately 82” tall. A submitted site plan shows that it would be 10’ from the rear property line and 15’ from the northern side property line. The B-4 Zoning District requires a 10’ side yard setback and a 15’ rear yard setback.

Staff discussed with the applicant that the total square footage of accessory structures in the rear yard could not exceed 20%. The total accessory structure would about 18% of the rear yard (2,900 sq. feet of 15,500 sq. feet).

The Petitioner will need to prove the standards/conditions found on the attached Exhibit during the Public Hearing process. The PC may add additional conditions for the Petitioner to meet in the Conditional Use. The shaded areas (if any) reflect items in the code that are unlikely to be meritorious to the application or are administrative in nature.

Policy Question:

1. Are there any concerns with the Conditional Use or Plan of Operation?
2. Are there any concerns from the public hearing you want added in the CU document?

Action Items:

1. Direct staff to prepare the Conditional Use Order and to schedule a public hearing on the Conditional Use Order for the January Plan Commission meeting.

Staff Recommendation:

Staff recommends preparing the Conditional Use Order and scheduling the next public hearing for the January Plan Commission meeting.

B. Public Hearing on a Conditional Use Permit in accordance with Section 17.0506(2)(c) for a commercial recreation facility in the B-2 Regional Business District located at N66W25201 County Highway VV.

Before a public hearing can be held on this matter, the correlating text amendment will need to be approved by the Village Board. It is scheduled for action on 1-10-23. Therefore, this public hearing will need to be adjourned until the 1-17-23 Plan Commission meeting.

Policy Question:

1. Set the Public Hearing for January.

Action Items:

1. Direct staff to schedule a public hearing on the Conditional Use Order for the January Plan Commission meeting.

Staff Recommendation:

Staff recommends adjourning the public hearing to the 1-17-2023 Plan Commission meeting.

05. Consideration and possible action on CSM's, Plats, Zoning and Planning Items:

A. Freiheit Court Cell Tower Not Substantial Modification Determination

The subject property is zoned B-2 Regional Business District. Plans were submitted on behalf of Dish Wireless to add a new antenna array and associated ground equipment to the cell tower located at the end of Freiheit Ct. The applicant has submitted a narrative with their determination of a not-substantial increase according to the Wisconsin State Statutes. That narrative is attached.

Wisconsin State Statutes classifies a substantial modification that does any of the following:

1. Increases the overall height of the structure by more than 20 feet for structures with an overall height of 200 feet or less.
2. For structures with an overall height of more than 200 feet, increases the overall height of the structure by 10% or more.
3. Measured at the level of the appurtenance added to the structure as a result of the modifications, increases the width of the support structure by 20 feet or more, unless a larger area is necessary for collocation.
4. Increases the square footage of an existing equipment compound to a total area of more than 2,500 square feet.

The existing cell tower is 120 feet tall and the proposed collocation is not increasing the height of the tower. The proposed antenna array is not increasing the width of the support structure by more than 20 feet. The equipment compound area is not changing.

Policy Questions:

1. Are the proposed amendments to the site plan considered not substantial?

Action Item:

1. Section 17.0509(D)(2)(e) states that the Plan Commission shall make a decision on the application to determine if the modifications are not substantial.

Staff Recommendation:

Staff recommends the Plan Commission make the determination that the proposed collocation on the cell tower located at N64W24837 Freiheit Court are not substantial.

B. Freiheit Court Cell Tower Site Plan Review

Section 17.0206 states that no structure shall be located, erected, moved, reconstructed, extended, enlarged, or structurally altered until after the owner or his agent has secured a building permit from the building inspector. Section 17.1001 states that the Plan Commission shall review the site, existing and proposed structures, architectural plans, neighboring uses, utilization of landscaping and open space, parking areas, driveway locations, loading and unloading, highways access, traffic generation and circulation, drainage, sewerage and water systems, and the proposed operation in the following districts Q-1, M-1, I-1, OP-1, BP-1, B-4, B-3, B-2, B-1, RM-1, and SFRD-3. The subject property is located in the B-2 Regional Business District.

Section 17.0500(A)(11)(a) states that outside storage maybe permitted for commercial uses in the B-2 District and that in all cases, outside storage shall be screened from all sides. The submitted plans is proposing to install the ground equipment on a rack rather than in an equipment shelter. Because the equipment is not located in a shelter, it is considered outdoor storage and per Section 17.0500(A)(11)(a) the applicant would be required to apply for a conditional use permit for the outdoor storage and to have the screening plan approved by the Plan Commission.

Policy Questions:

1. Are there any concerns with the Site Plan?
2. Are there any property maintenance concerns that need to be addressed at this time?
 - a. The existing fencing is required to have a mesh screen installed around the fence in accordance with the plans approved as part of the original conditional use permit. At this time, the mesh has not been installed.

Action Item:

1. Act on the Site Plan.

Staff Recommendation:

Staff recommends the Plan Commission approve the site plan subject to the applicant submitted revised plans with the equipment located inside an equipment shelter or applying for a conditional use permit for the outdoor storage in conformance with Section 17.0500(A)(11)(a).

C. Golden Fields of Sussex Subdivision Conceptual Review.

Kaerek Homes, Inc obtained the 20-acre piece of land on the northwest side of the Village that was former in the Town of Lisbon. The piece of land is the former Merske Farm property. The proposed zoning for this subject parcel is TS-1 Traditional Suburban Residential and a PDO Planned Development Overlay would be required to accommodate the subdivision layout as submitted.

The TS-1 Zoning is consistent with the subdivision to the east. The submitted concept is also proposing a pedestrian pathway on the southside of the development that would likely be located on Village-owned land as part of the stormwater outlot. Staff also recommends a landscape buffer on the west side of the property to screen the existing adjacent properties to the west. Kaerek Homes requested the opportunity to present a proposed concept to the Plan Commission prior to moving forward with formal preliminary plat submittal.

Policy Questions:

1. What items should the developer look towards in preparing a preliminary plat (landscaping between town and Village, pedestrian connections, etc.)?

Action Item:

1. Because the item is conceptual, there is no action to be taken.

Staff Recommendation:

Staff recommends the Plan Commission discuss the item with the applicant and provide items to consider in developing the preliminary plat. Feedback provided at this meeting does not guarantee an approval at a future meeting and comments are subject to change.

D. Wildflower Subdivision Conceptual Review.

JBJ Companies has submitted a conceptual residential development located on the south side of Main Street and on the west side of State Highway 164. The submitted layout is proposing five six-unit townhomes directly south of Main Street, 109 single family lots in the center of the development with lots generally containing 15,000 to 16,000 square feet with some large lots throughout, and 1-4 family homes on the southernmost portion of the site. A narrative describing each development type is attached to this Memo.

Staff has expressed concerns of the unknown layout of the area labeled Dayberry Preserve and how that will tie into the single-family portion of the development.

Policy Questions:

1. What items should the developer look towards in preparing a preliminary plat (1-4 Family area layout, pedestrian connections, etc.)?

Action Item:

1. Because the item is conceptual, there is no action to be taken.

Staff Recommendation:

Staff recommends the Plan Commission discuss the item with the applicant and provide items to consider in developing the preliminary plat. Feedback provided at this meeting does not guarantee an approval at a future meeting and comments are subject to change.

E. TABLED. Consideration and possible action on a Final Plat for Vista Run Addition No. 3, Phase 2.

The site is zoned RS-2 with the PDO Overlay. The submitted Final Plat which is part of Phase 2 is in substantial conformance to the preliminary plat and would establish an additional 20 single family lots of the subdivision.

This item was on the October Plan Commission agenda and was tabled at the request of the applicant to allow them additional time to address the conditions placed on the approval by the Village. The applicant has submitted a Quit Claim Deed to transfer property owned by the property owner to the East to this development to square off the end of Alpine Drive and a revised Final Plat has been submitted to reflect this.

The Developer's Agreement required the construction of a second access point as part of the second phase of the subdivision. The Developer's Agreement requires this second access to be constructed prior to recording this Final Plat. The applicant has obtained an easement from the property owner to the west to construct the secondary access. The developer also removed a proposed Outlot 16 from the south side of the development since it had already been dedicated to the Village as part of Outlot 14 on a previous Final Plat.

Further the Developer has stated they intend to follow provision of Wis. 236.13 and not the mutually agreed upon DEVELOPER's Agreement, so the DEVELOPER's Agreement does need to be modified to reflect that intent and to protect the taxpayers given the change in terms of the DEVELOPER's Agreement.

Village Ordinance 18.02203(G) requires the improvements to be completed in accordance with the DEVELOPER'S Agreement and not doing so is a violation of the Ordinance. Section 18.0305(F) requires all improvements be either installed or a contract and sureties ensuring their installation be filed prior to the plat being recorded. Since substantial completion for Phase 2 has not occurred, the Final Plat may receive conditional approval from the Village Board subject to Section 18.0305(H) and said approval will be conditioned upon all improvements being completed and accepted by the Village.

Policy Question:

1. Are there any concerns with the Final Plat.

Action Items:

1. Act on the Final Plat.

Staff Recommendation: Staff recommends the Plan Commission recommend approval to the Village Board of the Final Plat for Vista Run Addition No. 3 subject to the following conditions:

1. The standard conditions of Plat approval (attached herein as Exhibit B) that are not in conflict with Wis. Stats. 236.13.
2. Compliance, as required by Wis. Stats. 236.13(1)(b), with all Village Ordinances and Compliance with all aspects of the Developer's Agreement not in conflict with Wis. Stats. 236.13.
3. Payment of all fees and subject to the standard conditions of Exhibit A.

F. TABLED. Consideration and possible action on a Final Plat for Vista Run Addition No. 4, Phase 2.

The site is zoned RS-2 with the PDO Overlay. The submitted Final Plat is in substantial conformance to the preliminary plat and would establish an additional 27 single family lots of the subdivision as part of Addition No. 4, Phase 2.

While the Final Plat is largely consistent with preliminary plat, the Developer's Agreement required the construction of a second access point as part of the second phase of the subdivision. Because this road has not been installed as part of Phase 2, it prevents the developer from recording the Final Plat for Addition No. 3 and consequently the Final Plat for Final Plat for Addition No. 4. The concerns and process with respect to this plat are similar to item 5.E. for addition No.3 of Phase 2.

Policy Question:

1. Are there any concerns with the Final Plat.

Action Items:

1. Act on the Final Plat.

Staff Recommendation: Staff recommends the Plan Commission recommend approval to the Village Board of the Final Plat for Vista Run Addition No. 4 subject to the following conditions:

1. Meeting all comments and conditions of the Village Engineer in a memo dated December 6, 2022 and attached to this Memo.
2. The standard conditions of Plat approval (attached herein as Exhibit B) that are not in conflict with Wis. Stats. 236.13.
3. Compliance, as required by Wis. Stats. 236.13(1)(b), with all Village Ordinances and Compliance with all aspects of the Developer's Agreement not in conflict with Wis. Stats. 236.13.
4. Payment of all fees and subject to the standard conditions of Exhibit A.

06. Other Items for future discussion.

07. Adjournment.



Project Name STAGEHAND PLAN of Op.
 Tax Key # 242.013

VILLAGE OF SUSSEX
 PLAN OF OPERATION
 PROCEDURE LIST

Pre-application conference must be arranged with Gabe Gilbertson, Community Development Director. Please contact us at 262-246-5215 prior to submitting your application.

Complete the following: Plan of Operation, Service Reimbursement Agreement, Emergency Contact and Wastewater Discharge Permit.

Submit the completed forms and the required fee by the last business day of the month for consideration for the next Plan Commission Agenda. Please note that submitting by the deadline does not guarantee placement on the Plan Commission Agenda. Completed forms can be emailed to ggilbertson@villagesussex.org.

The following fees are required at the time of submittal:

<input checked="" type="checkbox"/> Plan of Operation fee	<u>\$175.00</u>
<input type="checkbox"/> Conditional Use fee (if necessary)	\$210.00
<input checked="" type="checkbox"/> Pre Occupancy inspection fee	\$100.00

Please make check payable to: Village of Sussex (fees are non refundable)

Notes: _____

Additional fees are required for building permits, review fees, or other items depending upon the nature of your request.

Contact Name for meetings: Jason Gehrke Phone # (608) 999-0984
 E-mail: jasongehrke18@gmail.com

For office use only:

Met with staff on: <u>11/3/22</u>
Paid fees on: <u>11/3/22</u>
To be on the Plan Commission Agenda for: <u>12/20/22</u>
Original forms to the following:
Plan of Operation to Jeremy _____
Service reimbursement _____
Emergency Contact to Sheriff Dept _____
Wastewater Permit to WWTP _____
Any outstanding fees owed on the property? _____



PLAN OF OPERATION

To be used for a business with changes or new business in an existing building.

Is this request to be considered for a Conditional Use? No If yes, is this a new CU? _____

(Conditional Use Permits require a Public Hearing)

OR an amendment to a CU? _____

Tax Key # 395-88-3405

Zoning: Commercial

Address of Tenant Space: Below

1. Name of Business:

Stagehand Furniture & Home Furnishings

Business

N63W22595 Main St Sussex, WI 53089 (608) 999-0984

Address

City, State, Zip

Phone #

Fax # N/A

Email address stagehandwife@gmail.com

2. Business owner contact information:

Jason Gehrke

Contact

4417 Jay Dr Madison, WI 53704 (608) 514-2408

Address

City, State, Zip

Phone #

Fax # N/A

Email address jssongehrke18@gmail.com

3. Building/Land owner contact information:

Mark Heinert

Contact

54022690 Sommers Hills Dr Waukesha, WI 53189 (414) 841-5378

Address

City, State, Zip

Phone #

Fax # N/A

Email address markheinert@yahoo.com

4. Number of Employees/Shifts:

0
Employees

N/A
Shifts

5. Days of Operation:

Put an X in box that applies:

Hours

Open for business

Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday

* Appointment Only *
No hours

6. Is this an extension of an existing operation? No
7. On a separate sheet of paper explain your business use and/or the change to your business. Attach a list of all items to be sold, produced or stored on the premises.
8. Is a liquor license or any other special license to be obtained from the Village Board or State Licensing Agencies? No Do you need an Outdoor Establishment Permit? No
 If yes, explain: _____
 If yes, please obtain and complete permit application.
9. If your proposed operation will utilize a liquor license, what types of entertainment are you proposing? N/A
10. Do you feel there will be any problems such as odor, smoke or noise resulting from this operation? No If yes, explain: _____
11. Dimension of area to be occupied 3200 sq ft Total square footage 3200
 If applicable list square footage according to 1st floor 3200 2nd floor N/A

Please provide a copy of the site plan showing parking and layout of the building and if a multi tenant building, label the space which will be occupied by your business.

12. Parking:
 Total Number of Parking Spaces 8 Number of spaces needed per code? ?
 Number of spaces allocated for employee parking 0/1 N/A
 Dimensions of parking lot on file Is parking lot paved? yes

13. Signage: What type of signage are you proposing for your business?
The sign is on the front, above the front door.
 If applicable, complete a Sign Permit application and submit to the Building Inspection Dept. Please refer to Chapter 17.0800.

I have reviewed a copy of the Zoning Ordinance in the Village of Sussex and hereby agree to abide by the same, as well as any and all terms and conditions of any permit issued pursuant to this application.

I do swear to or affirm that all statements contained herein are true and correct to the best of our knowledge.

Jason Gehrke
 Name
Owner
 Title or Position

Nov. 3 2022
 Date

I am aware and approve of the business to be operating in the building owned by Sussex Crossings LLC.

Mark Heinert
 Name
Property Owner
 Title or Position

Nov. 3 2022
 Date



N64W23760 Main Street
 Sussex, Wisconsin 53089
 Phone (262) 246-5200
 FAX (262) 246-5222
 Email: info@villagesussex.org
 Website: www.villagesussex.org

**VILLAGE OF SUSSEX
 PROFESSIONAL SERVICES REIMBURSEMENT NOTICE**

Pursuant to the Village of Sussex Ordinance No. 3.11, the Village of Sussex Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village to the property owner incurring those fees even if the request is not approved. Also, be advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are the responsibility of the property owner even if the request is not approved. Imposition of any fees, costs or charges, however, is subjected to the property owner's appeal rights as described in said Village of Sussex Ordinances.

I, the undersigned, have been advised that, pursuant to said Village of Sussex Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village even if the request is not approved. In addition, I have been advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are my responsibility even if the request is not approved. By signing this document however, I am not waiving my appeal rights that are described in said Village of Sussex Ordinances.

PLEASE PRINT LEGIBLY

Name and Mailing Address of the Property Owner and /or Authorized Agent for Invoices:

Mark Heinert 54022690 Sommers Hills Dr
Waukesha, WI 53189

Business Name: Stagehand Furniture + Home Furnishings

Name of Owner and Address of the Property involved in the Request (if different from above):

Jason Gehrke N63W22595 Main St
Sussex, WI 53089

Tax Key No. of the Property involved in the Request; SUXV 395-88-3405

[Signature]
 Signature of Property Owner and /or Authorized Agent

Nov 2, 2022
 Date

 Signature of Village Official Accepting Form Date

A copy of this completed form shall be provided to the Village Clerk for billing purposes.



Village of Sussex Fire Department
N63 W24335 Main Street
Sussex, Wisconsin 53089

Fire Station - *PHONE*
262-246-5197
Fire Station - *FAX*
262-246-5196

Waukesha County Sheriff – Sussex Office

Emergency Contact Form to be completed with Plan of Operation form.

Business Name: stagehand Furniture + Home Furnishings
Business Address: N63W22595 Main St Sussex, WI 53089
Business Phone #: (608) 999-0984
Business Email: stagehandWI@gmail.com

Business Emergency Contacts

Name and Phone #: Mark Heinert (414) 841-5378

Name and Phone #: _____

Name and Phone #: _____

Building Owner Name: Mark Heinert (414) 841-5378

Building Owner Email: markheinert@yahoo.com

Building Owner Emergency Contacts

Name and Phone #: N/A

Name and Phone #: N/A

Knox Box (if applies) Have locks been changed and new key provided to Fire Department? Yes No



WASTEWATER DISCHARGE PERMIT APPLICATION

Business Name: Stagehand Furniture + Home Furnishings

Address: N67W22595 main St Sussex, WI 53089

Owner/Operator: Jason Behrke

Standard Industrial Classification #: N/A

How many people do you employ? 0

What are your businesses hours of work? Appointment Only

Who is responsible for water quality? (List job titles)
Jason Behrke (owner)

Time and Duration of Discharge: Minimal/ve

Average and Peak Wastewater Flow Rates(Include any daily, monthly or seasonal variations):
10-50 gallons

Please describe the activities, facilities, and plant processes on the premises including all materials and types of materials which are or could be discharged:
cleaning products

Please list each product your business produces. (Include type, amount and rate of production):
We do not produce any products. All items are used furniture pieces brought in for resale.

What are the constituents and characteristics of your wastewater?
We do not create much waste water at all. Restroom use and some cleaning agents.

New construction: attach site plans, floor plans, mechanical and plumbing plans and details to show all sewers and appurtenances by size, location and elevation.

Print Form

Clear Form

Items to be sold + stored

We are a resale store that offers the following items:

- Sofas, couches, etc.
- Chairs (dining, living room, etc.)
- Bed Frames
- Dining Tables
- Wall Art (pictures, paintings, etc.)
- Desks (Office, Home)
- Bedroom Furniture (Dressers, wardrobes, nightstands)
- Blankets, Pillows, etc.

* No items are produced or manufactured on the premises.

VILLAGE OF SUSSEX
N64W23760 MAIN STREET
SUSSEX WI 53089
262 246-5200

Transaction 16.389
11/03/2022 12:56pm
Sandym @ 2020-3RDPOS

PLAN OF OPERATION
Jason Gehrke

Receipt Total \$175.00

Check Payment (107) \$175.00



Project Name Indian Creek Partnership
 Tax Key # SUXV 0231996001

VILLAGE OF SUSSEX
 PLAN OF OPERATION
 PROCEDURE LIST

Pre-application conference must be arranged with Gabe Gilbertson, Community Development Director. Please contact us at 262-246-5215 prior to submitting your application.

Complete the following: Plan of Operation, Service Reimbursement Agreement, Emergency Contact and Wastewater Discharge Permit.

Submit the completed forms and the required fee by the last business day of the month for consideration for the next Plan Commission Agenda. Please note that submitting by the deadline does not guarantee placement on the Plan Commission Agenda. Completed forms can be emailed to ggilbertson@villagesussex.org.

The following fees are required at the time of submittal:

<input checked="" type="checkbox"/>	Plan of Operation fee	\$175.00
<input type="checkbox"/>	Conditional Use fee (if necessary)	\$210.00
<input checked="" type="checkbox"/>	Pre Occupancy inspection fee	\$100.00

Please make check payable to: Village of Sussex (fees are non refundable)

Notes: _____

Additional fees are required for building permits, review fees, or other items depending upon the nature of your request.

Contact Name for meetings: Maria Besch Phone # (414) 801 9543
 E-mail: Stillwater.Spa.wi@gmail.com

For office use only:

Met with staff on: 11/14/22
 Paid fees on: 11/14/2022 CHECK NO. 128
 To be on the Plan Commission Agenda for: 12/20/22
 Original forms to the following:
 Plan of Operation to Jeremy _____
 Service reimbursement _____
 Emergency Contact to Sheriff Dept _____
 Wastewater Permit to WWTP _____
 Any outstanding fees owed on the property? _____



N64W23760 Main Street
Sussex, Wisconsin 53089
Phone (262) 246-5200
FAX (262) 246-5222

Email: info@villagesussex.org
Website: www.villagesussex.org

**VILLAGE OF SUSSEX
PROFESSIONAL SERVICES REIMBURSEMENT NOTICE**

Pursuant to the Village of Sussex Ordinance No. 3.11, the Village of Sussex Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village to the property owner incurring those fees even if the request is not approved. Also, be advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are the responsibility of the property owner even if the request is not approved. Imposition of any fees, costs or charges, however, is subjected to the property owner's appeal rights as described in said Village of Sussex Ordinances.

I, the undersigned, have been advised that, pursuant to said Village of Sussex Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village even if the request is not approved. In addition, I have been advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are my responsibility even if the request is not approved. By signing this document however, I am not waiving my appeal rights that are described in said Village of Sussex Ordinances.

PLEASE PRINT LEGIBLY

Name and Mailing Address of the Property Owner and /or Authorized Agent for Invoices:

Indian Creek Partnership c/o J+A Management Services, LLC
2831 W. Grandview Blvd., Ste 222, Attn: Liz Pfaff

Business Name: Stillwater Spa LLC

Name of Owner and Address of the Property involved in the Request (if different from above):

Tax Key No. of the Property involved in the Request: SUXV 0231996001

Liz Pfaff

Signature of Property Owner and /or Authorized Agent

11/10/22

Date

Signature of Village Official Accepting Form

Date

A copy of this completed form shall be provided to the Village Clerk for billing purposes.



PLAN OF OPERATION

To be used for a business with changes or new business in an existing building.

Is this request to be considered for a Conditional Use? NO If yes, is this a new CU?

(Conditional Use Permits require a Public Hearing)

OR an amendment to a CU?

Tax Key # SUXV0231996001 Zoning:

Address of Tenant Space: N64W24801 Main Street, Sussex, WI 53089

1. Name of Business:

Stillwater Spa
site 118

Business N64W24801 Main St. Sussex WI 53089

Address N/A City, State, Zip Stillwater, WI 53089 Phone # (414) 801-9543

Fax # Email address Stillwater.Spa.wi@gmail.com

2. Business owner contact information:

Maria Besch

Contact 772 Autumn Ridge Ln. Hartford WI 53027 Phone # (414) 801-9543

Address N/A City, State, Zip Stillwater, WI 53089 Phone # (414) 801-9543

Fax # Email address Stillwater.Spa.wi@gmail.com

3. Building/Land owner contact information:

Charles Schudt c/o J+A Management Services, LLC

Contact 2831 N. Grandview Blvd, Ste 222, Pewaukee, WI 53072

Address 262-695-8800 City, State, Zip Pfaff@Judsonrealestate.com Phone #

Fax # Phone # Email address

4. Number of Employees/Shifts: 1 (just me) Employees Shifts

5. Days of Operation:

Put an X in box that applies:
Hours Open for business

	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
Hours	X	X	X		X	X	X
Open for business	X	X	X		X		X

6. Is this an extension of an existing operation? NO

7. On a separate sheet of paper explain your business use and/or the change to your business. Attach a list of all items to be sold, produced or stored on the premises. stored + sold facial products attached

8. Is a liquor license or any other special license to be obtained from the Village Board or State Licensing Agencies? yes Do you need an Outdoor Establishment Permit? NO
If yes, explain: Establishment license for esthetics (already done)
If yes, please obtain and complete permit application.

9. If your proposed operation will utilize a liquor license, what types of entertainment are you proposing? NO / N/A

10. Do you feel there will be any problems such as odor, smoke or noise resulting from this operation? NO If yes, explain: _____

11. Dimension of area to be occupied (15x15x10) (15x10) 500 sq ft Total square footage 500

If applicable list square footage according to 1st floor _____ 2nd floor _____

Please provide a copy of the site plan showing parking and layout of the building and if a multi tenant building, label the space which will be occupied by your business.

12. Parking:
Total Number of Parking Spaces 95 Number of spaces needed per code _____
Number of spaces allocated for employee parking 95
Dimensions of parking lot 57,326.34 SF Is parking lot paved? yes

13. Signage: What type of signage are you proposing for your business?
less than 1/3 of door + window - no permit needed, put name + hours
If applicable, complete a Sign Permit application and submit to the Building Inspection Dept. Please refer to Chapter 17.0800.

I have reviewed a copy of the Zoning Ordinance in the Village of Sussex and hereby agree to abide by the same, as well as any and all terms and conditions of any permit issued pursuant to this application.

I do swear to or affirm that all statements contained herein are true and correct to the best of our knowledge.

Maria Resch
Name

11/14/22
Date

owner of Stillwater Spa
Title or Position

I am aware and approve of the business to be operating in the building owned by Charles Schuldt.

Liz Pfaff
Name

11/10/22
Date

Property Manager for
Title or Position
S + A Management Services, LLC

Circadian skin care

Cleansing gel salicylic Cleanser

amandelola milk cleanser

Vitamin veil oil Cleanser

lipid replacing cleanser

micro honey exfoliating cleanser

Spot Stop

Clearing spray

daytime control / nighttime control

phito pep 1.0 lotion

Chrono calm

Tranquil cream

Calming spray

Brightening mist

Bright white serum

White Veil brightener

Vitamin C serum

Counter age

cyto - comn

Vitamin A For face

Glyco guard

Nighttime repair plus

emergency eye lift

eye repair full circle

Hydrating mist

hydrabox face oil

moisture on demand

aqua porin

post peel balm

light duty sunscreen



WASTEWATER DISCHARGE PERMIT APPLICATION

Business Name: Stillwater Spa LLC

Address: 164 W 24801 Main Street, Sussex, WI 53089, Ste 118

Owner/Operator: Marica Resch

Standard Industrial Classification #: _____

How many people do you employ? Just myself

What are your businesses hours of work? M-10-6 W-10-6 Fri-9-5 Sun 10-5
T-9-5 Th closed Sat-9-1

Who is responsible for water quality? (List job titles)
owner of building

Time and Duration of Discharge: _____

Average and Peak Wastewater Flow Rates(Include any daily, monthly or seasonal variations):

Please describe the activities, facilities, and plant processes on the premises including all materials and types of materials which are or could be discharged:

Please list each product your business produces. (Include type, amount and rate of production):
Soaps / lotion

What are the constituents and characteristics of your wastewater?
Washing hand getting towels wet for facials

New construction: attach site plans, floor plans, mechanical and plumbing plans and details to show all sewers and appurtenances by size, location and elevation.

Print Form

Clear Form

Indian Creek Office Suites ● = 95 Parking Stal

Indian Creek Office Suites

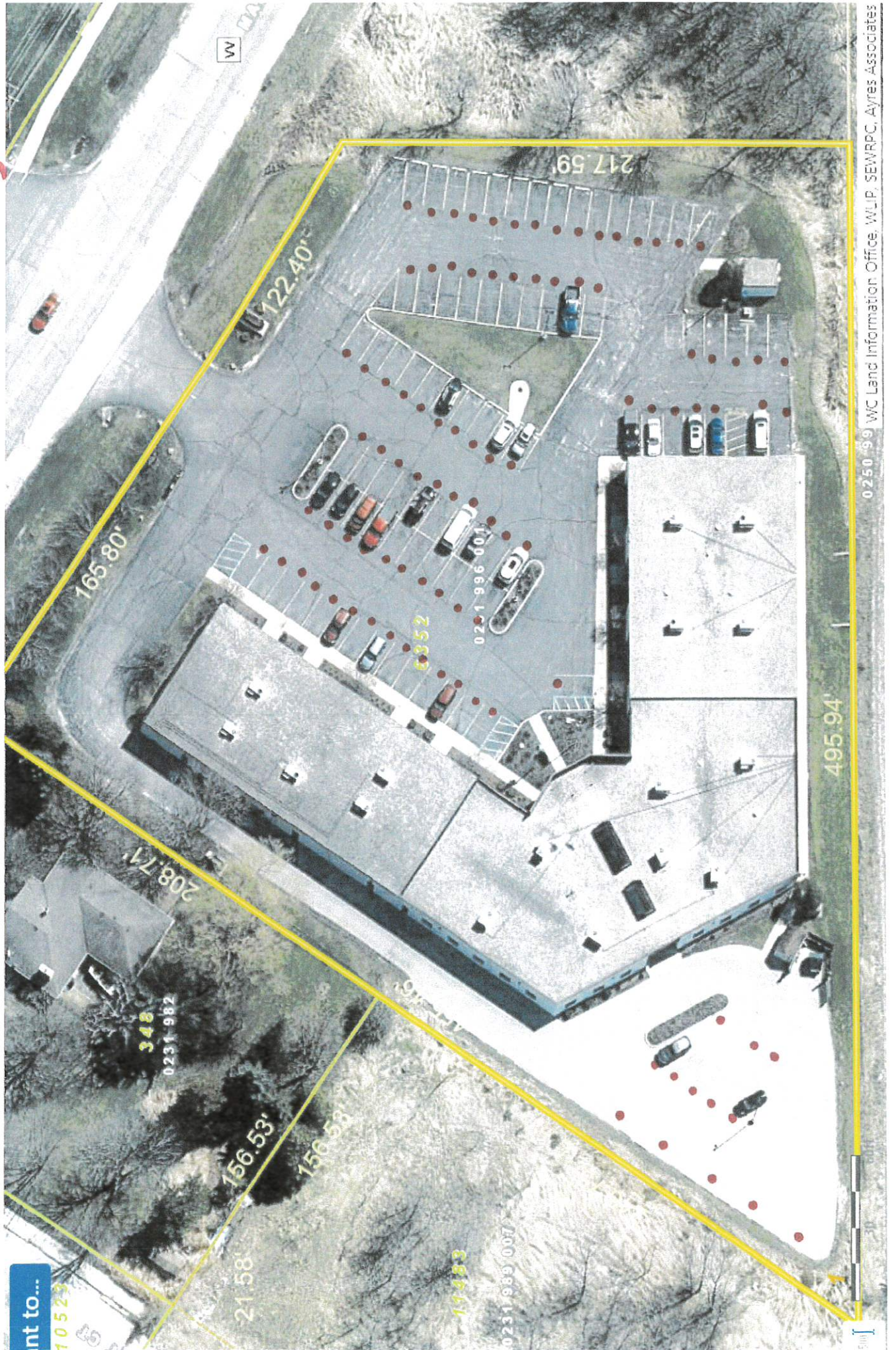
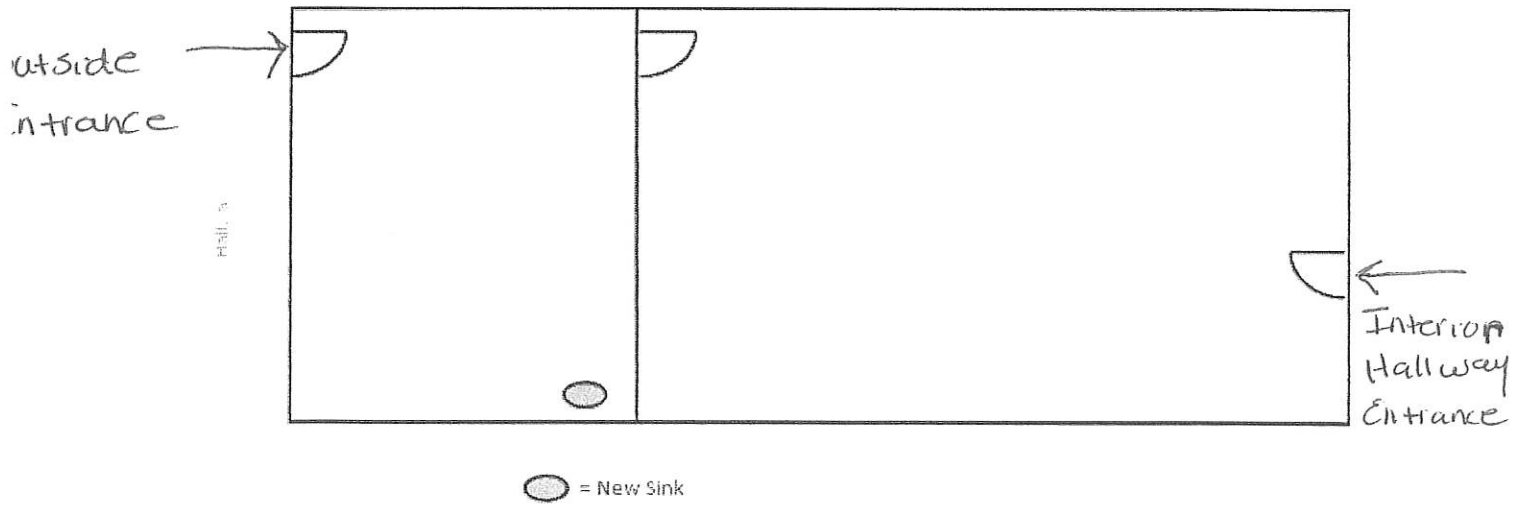
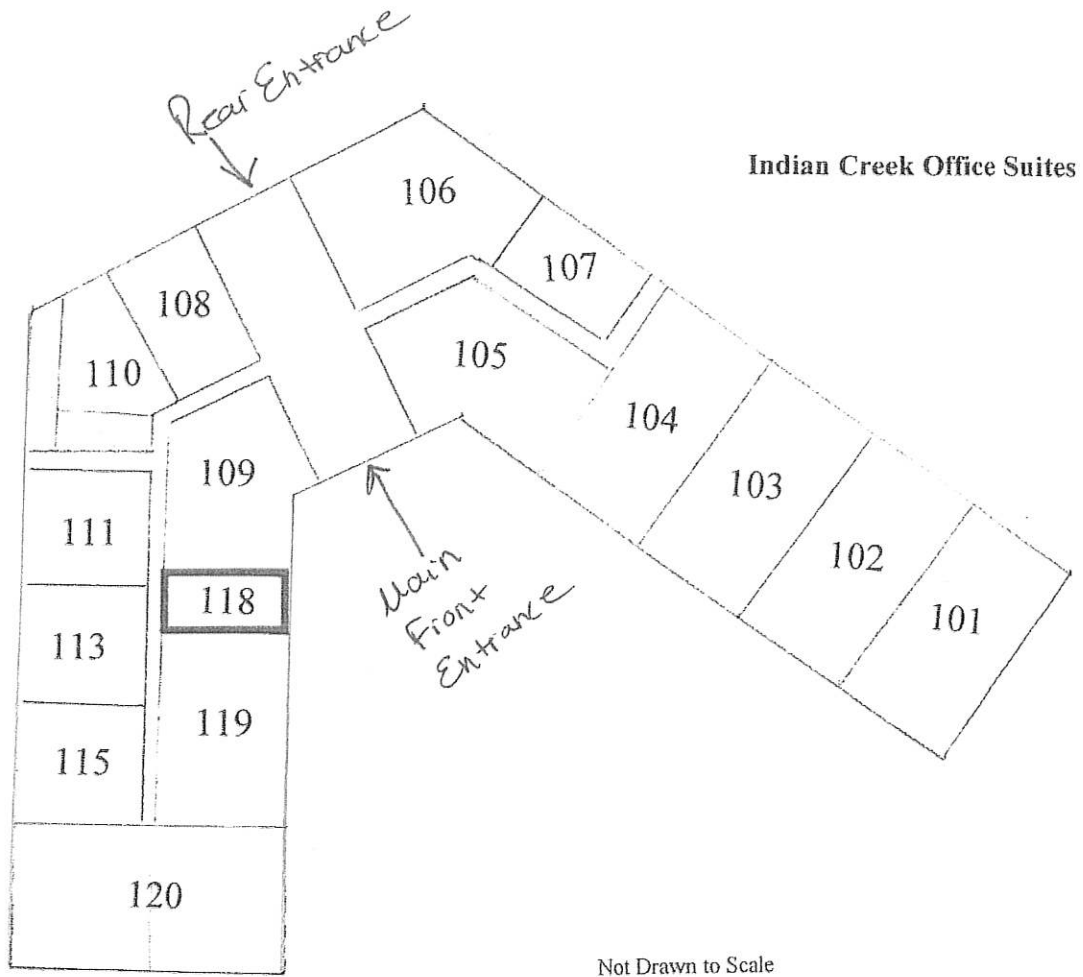


EXHIBIT 'A'





Village of Sussex Fire Department
N63 W24335 Main Street
Sussex, Wisconsin 53089

Fire Station - PHONE
262-246-5197
Fire Station - FAX
262-246-5196

Waukesha County Sheriff – Sussex Office

Emergency Contact Form to be completed with Plan of Operation form.

Business Name: Stillwater Spa

Business Address: 1064 W24801 Main Street, Ste 118, Sussex, WI 53089

Business Phone #: (414) 801-9543

Business

Email: Stillwater.Spa.wi@gmail.com

Business Emergency Contacts

Name and Phone #: Marie Resch (414) 801 9543

Name and Phone #: _____

Name and Phone #: _____

Building Owner Name: Indian Creek Suites Partnership c/o J+A Management + Services

Building Owner Email: lpfaff@jardsonrealestate.com

Building Owner Emergency Contacts

Name and Phone #: Liz Pfaff (262) 746 3488 (Direct) Office (262) 695-8800

Name and Phone #: _____

Knox Box (if applies) Have locks been changed and new key provided to Fire Department? Yes No



Project Name CAPTIVATE EXHIBITS

Tax Key # 278.999.040

VILLAGE OF SUSSEX
PLAN OF OPERATION
PROCEDURE LIST

Pre-application conference must be arranged with Gabe Gilbertson, Community Development Director. Please contact us at 262-246-5215 prior to submitting your application.

Complete the following: Plan of Operation, Service Reimbursement Agreement, Emergency Contact and Wastewater Discharge Permit.

Submit the completed forms and the required fee by the last business day of the month for consideration for the next Plan Commission Agenda. Please note that submitting by the deadline does not guarantee placement on the Plan Commission Agenda. Completed forms can be emailed to ggilbertson@villagesussex.org.

The following fees are required at the time of submittal:

<input checked="" type="checkbox"/>	Plan of Operation fee	\$175.00
<input type="checkbox"/>	Conditional Use fee (if necessary)	\$210.00
<input type="checkbox"/>	Pre Occupancy inspection fee	\$100.00

Please make check payable to: Village of Sussex (fees are non refundable)

Notes: _____

Additional fees are required for building permits, review fees, or other items depending upon the nature of your request.

Contact Name for meetings: Richard Magliocco Phone # 262-432-8410

E-mail: dickm@CaptiveExhibits.com

For office use only:

Met with staff on: <u>11/29/22</u>	AD 11/29/22 CH. NO. 039488
Paid fees on: <u>11/29/22</u>	
To be on the Plan Commission Agenda for: <u>12/20/22</u>	
Original forms to the following:	
Plan of Operation to Jeremy _____	
Service reimbursement _____	
Emergency Contact to Sheriff Dept _____	
Wastewater Permit to WWTP _____	
Any outstanding fees owed on the property? _____	



PLAN OF OPERATION

To be used for a business with changes or new business in an existing building.

Is this request to be considered for a Conditional Use? No If yes, is this a new CU? _____

(Conditional Use Permits require a Public Hearing)

OR an amendment to a CU? _____

Tax Key # SUXV0278999040

Zoning: BP-1 Business Park District

Address of Tenant Space: N56 W24701 N Corporate Drive, Sussex, Wisconsin 53089

1. Name of Business:
Captivate Exhibits, Inc

Business		
N56 W24701 N Corporate Drive	Sussex, Wisconsin 53089	262-432-8410
Address	City, State, Zip	Phone #
262-432-8402	dickm@CaptivateExhibits.com	
Fax #	Email address	

2. Business owner contact information:
Captivate Exhibits, Inc Richard magliocco

Contact		
12600 West Burleigh Road	Brookfield, Wisconsin 53005	262-432-8410
Address	City, State, Zip	Phone #
262-432-8402	dickm@CaptivateExhibits.com	
Fax #	Email address	

3. Building/Land owner contact information:
NLM HOLDINGS 5 LLC; Tom McCrossin

Contact		
12600B West Burleigh Road	Brookfield, Wisconsin 53005	414-322-4717
Address	City, State, Zip	Phone #
	tom@newlanemanagement.com	
Fax #	Email address	

4. Number of Employees/Shifts: 26 Employees 1 Shifts

5. Days of Operation:

Put an X in box that applies:
Hours
Open for business

Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
X	X	X	X	X		
7:00-5:30	7:00-5:30	7:00-5:30	7:00-5:30	7:00-5:30		

6. Is this an extension of an existing operation? No
7. On a separate sheet of paper explain your business use and/or the change to your business. Attach a list of all items to be sold, produced or stored on the premises. ATTACHED
8. Is a liquor license or any other special license to be obtained from the Village Board or State Licensing Agencies? No Do you need an Outdoor Establishment Permit? No
 If yes, explain: _____
 If yes, please obtain and complete permit application.
9. If your proposed operation will utilize a liquor license, what types of entertainment are you proposing? NO
10. Do you feel there will be any problems such as odor, smoke or noise resulting from this operation? No If yes, explain: _____
11. Dimension of area to be occupied 56,140 Total square footage 56,140
 If applicable list square footage according to 1st floor _____ 2nd floor _____

Please provide a copy of the site plan showing parking and layout of the building and if a multi tenant building, label the space which will be occupied by your business.

12. Parking:
 Total Number of Parking Spaces 92 Number of spaces needed per code 51
 Number of spaces allocated for employee parking 35
 Dimensions of parking lot 64' x 481' Is parking lot paved? Yes

13. Signage: What type of signage are you proposing for your business?

Monument Sign

If applicable, complete a Sign Permit application and submit to the Building Inspection Dept. Please refer to Chapter 17.0800.

I have reviewed a copy of the Zoning Ordinance in the Village of Sussex and hereby agree to abide by the same, as well as any and all terms and conditions of any permit issued pursuant to this application.

I do swear to or affirm that all statements contained herein are true and correct to the best of our knowledge.

Richard Magliocco
 Name
 President
 Title or Position

11/28/2022
 Date

I am aware and approve of the business to be operating in the building owned by NLM Holdings 5 LLC

Thomas McCrossin
 Name
NLM Holdings 5 LLC
 Title or Position Manager

11/28/2022
 Date



What We Do

We build exceptional displays, trusted relationships, and proven results guided by our core values. Specifically, our company sells, manufactures and builds displays for the trade show and event industry. We handle all sorts of different vendors products ranging from banner stands to very large custom displays. We do fabricate many different types of displays with no one being the same. All displays are custom in nature, with some being custom carpentry. Our services take our clients' concepts to completion.

The variety of product and services are:

- Portable Display
- Modular aluminum extrusion and graphics
- Custom counters and displays with graphics
- Graphic Design and Engineering
- Warehouse and Storage service of our clients display components and crates
- Handle all related show services, shipping for our clients display
- Trade Show supervision for onsite Installation and Dismantle for their shows
- Corporate Interiors design, fabrication, and installation
- Trade Show marketing

For more information, our website is www.CaptivateExhibits.com

Our Mission Ideal or Why we Exist

"Empowering people to become the Best Version of themselves by living our Core values for the Glory of God." We recognize that **our strength** is developing and sustaining long term relationships with **our team members by having a great culture and our clients** by continually surpassing expectations. We diligently strive to achieve this goal by cultivating these relationships through distinguished personal and business integrity. **Our commitment** to industry innovation and total customer satisfaction creates success for you and our company. **Our calling** is to be charitable with the fruits of our mission for the betterment of society for the Glory of God.

Our Vision Statement or Our How We Do It

We continuously strive to display excellence with our employees and clients by living our core values to achieve 100% customer satisfaction through our "360° Guarantee."

We transform ideas into compelling designs for our clients' environments while enhancing their brand awareness, contributing to their unparalleled success. We provide exceptionally creative

designs for professional exhibit products and services in combination with effective marketing and event production. Captivate Exhibits has a passion for tailoring outstanding, customized, face-to-face marketing solutions.

Our Core Values

Our Core Values are inherently Christian in nature. These values are fully integrated into our company's culture, which was built through a collaborative effort and committed to by our entire team. We continuously strive to live out our Core Values, which sets our company apart and ultimately helps us achieve 100% customer satisfaction through our "360° Guarantee."

- Focus on **Integrity and Honesty** as the foundational principle of everything we do.
- **Dedication to Excellence** through continuous improvement both personally and professionally to facilitate strong, healthy growth.
- **Commitment to Creativity** by experimenting, sharing ideas, and having fun while always growing.
- **Guarantee of Reliability** assured through our professionalism, timely solutions, and accuracy as we build strong trusting relationships.
- **Displaying a Positive Attitude** leads to extraordinary results and a welcoming atmosphere.
- **Being Thankful for all the blessings and opportunities** we receive which inspires us to be generous and charitable with these gifts for the betterment of our community.

Our 360° Guarantee Process

The "*Captivate Way*" is our customer service process truly cultivated in the 360° **Guarantee**. It defines all our systems of how we conduct business in a consistent way. The 360° **Guarantee Process** has been developed for ultimate, **consistent** client customer service. We desire to be better than any of our competitors. The 360° **Guarantee Process** needs to be fully integrated into our team, vendors, partners, and clients so the "*Captivate Way*" is always achieved. The 360° **Guarantee** revolves around our company being a *Service Driven* company, not a manufacturing driven company. Everyone needs to be part of our **external and internal customer service** process to meet our short and long-term growth goals. This company-wide process corresponds directly with our desire to strive for 100% customer satisfaction. We are **ALL** in sales and customer service, just with different responsibilities and duties.



WASTEWATER DISCHARGE PERMIT APPLICATION

Business Name: Captive Exhibits: Not Applicable

Address: _____

Owner/Operator: _____

Standard Industrial Classification #: _____

How many people do you employ? _____

What are your businesses hours of work? _____

Who is responsible for water quality? (List job titles)

Time and Duration of Discharge: _____

Average and Peak Wastewater Flow Rates(Include any daily, monthly or seasonal variations):

Please describe the activities, facilities, and plant processes on the premises including all materials and types of materials which are or could be discharged:

Please list each product your business produces. (Include type, amount and rate of production):

What are the constituents and characteristics of your wastewater?

New construction: attach site plans, floor plans, mechanical and plumbing plans and details to show all sewers and appurtenances by size, location and elevation.

Print Form

Clear Form



Village of Sussex Fire Department
N63 W24335 Main Street
Sussex, Wisconsin 53089

Fire Station - *PHONE*
262-246-5197
Fire Station - *FAX*
262-246-5196

Waukesha County Sheriff – Sussex Office

Emergency Contact Form to be completed with Plan of Operation form.

Business Name: Captivate Exhibits, Inc
Business Address: N56 W24701 N Corporate Drive, Sussex, Wisconsin 53089
Business Phone #: 262-432-8410
Business Email: www.CaptivateExhibits.com; info@CaptivateExhibits.com

Business Emergency Contacts

Name and Phone #: Jim McCombe 262-384-0484
Name and Phone #: Tom Panosh 414-232-2641
Name and Phone #: Richard Magliocco 262-424-8498
Building Owner Name: NLM HOLDINGS 5 LLC, Tom McCrossin
Building Owner Email: tom@newlanemanagement.com

Building Owner Emergency Contacts

Name and Phone #: Tom McCrossin 414-322-4717
Name and Phone #: tom@newlanemanagement.com

Knox Box (if applies) Have locks been changed and new key provided to Fire Department? Yes No



N64W23760 Main Street
Sussex, Wisconsin 53089
Phone (262) 246-5200
FAX (262) 246-5222
Email: info@villagesussex.org
Website: www.villagesussex.org

**VILLAGE OF SUSSEX
PROFESSIONAL SERVICES REIMBURSEMENT NOTICE**

Pursuant to the Village of Sussex Ordinance No. 3.11, the Village of Sussex Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village to the property owner incurring those fees even if the request is not approved. Also, be advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are the responsibility of the property owner even if the request is not approved. Imposition of any fees, costs or charges, however, is subjected to the property owner's appeal rights as described in said Village of Sussex Ordinances.

I, the undersigned, have been advised that, pursuant to said Village of Sussex Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village even if the request is not approved. In addition, I have been advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are my responsibility even if the request is not approved. By signing this document however, I am not waiving my appeal rights that are described in said Village of Sussex Ordinances.

PLEASE PRINT LEGIBLY

Name and Mailing Address of the Property Owner and /or Authorized Agent for Invoices:

NLM HOLDINGS 5 LLC; Tom McCrossin

12600B West Burleigh Rd Brookfield, WI 53005


Business Name: Captivate Exhibits, Inc

Name of Owner and Address of the Property involved in the Request (if different from above):

Captivate Exhibits, Inc, Richard Magliocco

12600 West Burleigh Rd Brookfield, WI 53005

Tax Key No. of the Property involved in the Request: SUXV 0278999040


Signature of Property Owner and /or Authorized Agent MLM Holdings 5 LLC Manager Date 11/28/2022

Signature of Village Official Accepting Form _____ Date _____

A copy of this completed form shall be provided to the Village Clerk for billing purposes.



Project Name	<u>S J Honey LLC</u>
Tax Key #	<u>246.995</u>

VILLAGE OF SUSSEX
 PLAN OF OPERATION
 PROCEDURE LIST

Pre-application conference must be arranged with Gabe Gilbertson, Community Development Director. Please contact us at 262-246-5215 prior to submitting your application.

Complete the following: Plan of Operation, Service Reimbursement Agreement, Emergency Contact and Wastewater Discharge Permit.

Submit the completed forms and the required fee by the last business day of the month for consideration for the next Plan Commission Agenda. Please note that submitting by the deadline does not guarantee placement on the Plan Commission Agenda. Completed forms can be emailed to ggilbertson@villagesussex.org.

The following fees are required at the time of submittal:

<input checked="" type="checkbox"/> Plan of Operation fee	\$175.00
<input type="checkbox"/> Conditional Use fee (if necessary)	\$210.00
<input type="checkbox"/> Pre Occupancy inspection fee	\$100.00

Please make check payable to: Village of Sussex (fees are non refundable)

Notes: _____

Additional fees are required for building permits, review fees, or other items depending upon the nature of your request.

Contact Name for meetings: Jessica Tylike Phone # 414-250-3097
 E-mail: snjhoneyllc@gmail.com

For office use only:

Met with staff on: <u>11/29/22</u>	PD <u>11/30/22 #1000</u>
Paid fees on: <u>11/30/22</u>	
To be on the Plan Commission Agenda for: <u>12/26/22</u>	
Original forms to the following:	
Plan of Operation to Jeremy <input checked="" type="checkbox"/>	
Service reimbursement <input checked="" type="checkbox"/>	
Emergency Contact to Sheriff Dept <input checked="" type="checkbox"/>	
Wastewater Permit to WWTP <input checked="" type="checkbox"/>	
Any outstanding fees owed on the property? <u>N.</u>	



PLAN OF OPERATION

To be used for a business with changes or new business in an existing building.

Is this request to be considered for a Conditional Use? No If yes, is this a new CU? N/A

(Conditional Use Permits require a Public Hearing)

OR an amendment to a CU? NO

Tax Key # N/A

Zoning: N/A

Address of Tenant Space: N63W23583 Main St Sussex, WI 53089

1. Name of Business:
S & J Honey LLC

Business N63W23583 <u>Main St</u>	Sussex, WI 53089	414-250-3097
Address N/A	City, State, Zip snjhoneyllc@gmail.com	Phone #
Fax #	Email address	

2. Business owner contact information:
Jessica Tylke

Contact 8011 W Lincoln Ave Apt 2	West Allis, WI 53219	414-250-3097
Address N/A	City, State, Zip jessicatylke77@gmail.com	Phone #
Fax #	Email address	

3. Building/Land owner contact information:
Rockfish Investments LLC c/o John S Rinaldi

Contact N26W23315 Paul Rd	Pewaukee, WI 53072	414-460-6556
Address N/A	City, State, Zip JRinaldi@rtautomations.com	Phone #
Fax #	Email address	

4. Number of Employees/Shifts: 2 1
Employees Shifts

5. Days of Operation:

Put an X in box that applies:
Hours
Open for business

Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
X	X	X	X	X	X	X
9AM-5PM	9AM-5PM	9AM-5PM	9AM-5PM	9AM-5PM	9AM-5PM	10AM-5PM

6. Is this an extension of an existing operation? Yes
7. On a separate sheet of paper explain your business use and/or the change to your business. Attach a list of all items to be sold, produced or stored on the premises.
8. Is a liquor license or any other special license to be obtained from the Village Board or State Licensing Agencies? N/A Do you need an Outdoor Establishment Permit? N/A
 If yes, explain: N/A
 If yes, please obtain and complete permit application.
9. If your proposed operation will utilize a liquor license, what types of entertainment are you proposing? N/A
10. Do you feel there will be any problems such as odor, smoke or noise resulting from this operation? No If yes, explain: N/A
11. Dimension of area to be occupied Approximately 1,036 Total square footage 2,072
 If applicable list square footage according to 1st floor N/A 2nd floor 3,200

Please provide a copy of the site plan showing parking and layout of the building and if a multi tenant building, label the space which will be occupied by your business.

12. Parking:
 Total Number of Parking Spaces 60 Number of spaces needed per code N/A
 Number of spaces allocated for employee parking N/A
 Dimensions of parking lot N/A Is parking lot paved? Yes

13. Signage: What type of signage are you proposing for your business?
N/A
 If applicable, complete a Sign Permit application and submit to the Building Inspection Dept. Please refer to Chapter 17.0800.

I have reviewed a copy of the Zoning Ordinance in the Village of Sussex and hereby agree to abide by the same, as well as any and all terms and conditions of any permit issued pursuant to this application.

I do swear to or affirm that all statements contained herein are true and correct to the best of our knowledge.

Jessia Tytko 11-30-2022
 Name Date
 Owner
 Title or Position

I am aware and approve of the business to be operating in the building owned by Rockfish Investments LLC c/o John Rinaldi
Scott Rosploch Scott Rosploch 11/30/2022
 Name Date
Property Manager
 Title or Position

S & J Honey LLC is a beekeeping business where we extract honey from hives to be sold. We are looking to expand and will be using the new office space as our office to separate the business from the home. Our products we sell will be kept there which consist of honey, wax products including but not limited to candles and supplies needed to package our products.



N64W23760 Main Street
Sussex, Wisconsin 53089
Phone (262) 246-5200
FAX (262) 246-5222
Email: info@villagesussex.org
Website: www.villagesussex.org

**VILLAGE OF SUSSEX
PROFESSIONAL SERVICES REIMBURSEMENT NOTICE**

Pursuant to the Village of Sussex Ordinance No. 3.11, the Village of Sussex Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village to the property owner incurring those fees even if the request is not approved. Also, be advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are the responsibility of the property owner even if the request is not approved. Imposition of any fees, costs or charges, however, is subjected to the property owner's appeal rights as described in said Village of Sussex Ordinances.

I, the undersigned, have been advised that, pursuant to said Village of Sussex Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village even if the request is not approved. In addition, I have been advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are my responsibility even if the request is not approved. By signing this document however, I am not waiving my appeal rights that are described in said Village of Sussex Ordinances.

PLEASE PRINT LEGIBLY

Name and Mailing Address of the Property Owner and /or Authorized Agent for Invoices:

Rockfish Investments LLC c/o John S Rinaldi

N26W23315 Paul Rd Pewaukee, WI 53072

Business Name: S & J Honey LLC

Name of Owner and Address of the Property involved in the Request (if different from above):

Same as Above

Tax Key No. of the Property involved in the Request: SUXV _____

Scott Rosploch
Signature of Property Owner and /or Authorized Agent

11-30-2022
Date

Signature of Village Official Accepting Form

Date

A copy of this completed form shall be provided to the Village Clerk for billing purposes.



WASTEWATER DISCHARGE PERMIT APPLICATION

Business Name: S & J Honey LLC

Address: N63W23583 Main St Sussex, WI 53089

Owner/Operator: Jessica Tylke

Standard Industrial Classification #: _____

How many people do you employ? 2

What are your businesses hours of work? 9am-5pm Monday - Saturday 10am-5pm Sunday

Who is responsible for water quality? (List job titles)
Rockfish Investments LLC c/o John S Rinaldi Owner of Building

Time and Duration of Discharge: 9am-5pm Monday-Saturday 10am-5pm Sunday

Average and Peak Wastewater Flow Rates(Include any daily, monthly or seasonal variations):
N/A

Please describe the activities, facilities, and plant processes on the premises including all materials and types of materials which are or could be discharged:
Plastic Bottles, Glass Bottles, Honey, Beeswax

Please list each product your business produces. (Include type, amount and rate of production):
Honey 7,000 pounds Beeswax 100 pounds

What are the constituents and characteristics of your wastewater?
As normal from an office suite

New construction: attach site plans, floor plans, mechanical and plumbing plans and details to show all sewers and appurtenances by size, location and elevation.

Print Form

Clear Form



Village of Sussex Fire Department
N63 W24335 Main Street
Sussex, Wisconsin 53089

Fire Station - *PHONE*
262-246-5197
Fire Station - *FAX*
262-246-5196

Waukesha County Sheriff – Sussex Office

Emergency Contact Form to be completed with Plan of Operation form.

Business Name: S & J Honey LLC
Business Address: N63W23583 Sussex, WI 53089
Business Phone #: 414-250-3097
Business Email: snjhoneyllc@gmail.com

Business Emergency Contacts

Name and Phone #: Jessica Tylke 414-250-3097
Name and Phone #: _____

Name and Phone #: _____

Building Owner Name: Rockfish Investments LLC
Building Owner Email: JRinaldi@rtautomations.com

Building Owner Emergency Contacts

Name and Phone #: John Rinaldi 414-460-6556
Name and Phone #: Scott Rosploch 262-436-9299

Knox Box (if applies) Have locks been changed and new key provided to Fire Department? Yes No

Conditional Use Standards/Conditions Exhibit

The Conditional Use Standards:

17.0502 APPLICATION. Applications for conditional use permits shall be made to the Village on forms furnished by the Village and shall include Sections A, E, F and G. and may include any or all of Sections B, C, and D. as determined by the Administrator:

A. Names and addresses of the applicant, owner of the site, or other appropriate entities or persons implementing the project as required by the Administrator.

B. Description of the subject site by lot, block and recorded subdivision or by metes and bounds; address of the subject site; type of structure; proposed operation or use of the structure or site; number of employees; and the zoning district within which the subject site is located. For floodland conditional uses, such description shall also include information that is necessary for the Plan Commission to determine whether the proposed development will hamper flood flows, impair floodplain storage capacity, or cause danger to human or animal life. This additional information may include plans, certified by a registered professional engineer or land survey or, showing elevations or contours of the ground; fill or storage elevations; first floor elevations of structures; size, location and spatial arrangement of all existing and proposed structures on the site; location and elevation of streets, water supply, and sanitary facilities; photographs showing existing land uses and vegetation upstream and downstream; soil types; and other pertinent information.

C. A topographic map, drawn to a scale of not less than 200' to 1" showing the land in question, its legal description and location; location and use of existing buildings; sanitary systems and private water supplies on such land; the high water elevation of any navigable water within 100' of the land in question; and the proposed location and use of any buildings, sanitary systems and wells on such land and within 100' of such land in question.

D. An impact Report as outlined in Section 17.0506 A or Section 17.0506 B.

E. A fee, as may be established and periodically modified by resolution of the Village Board, shall accompany each application. Such fee shall be paid by cash, check or money order to the Village. Costs incurred by the Village in obtaining legal, planning, engineering and other technical and professional advice in connection with the review of the conditional use and preparation of conditions to be imposed shall be charged to the applicant.

F. Where necessary to comply with certain Wisconsin Statutes, an application will be submitted at the appropriate time to the Department of Natural Resources.

G. The site plan and plan of operation information sheet and plan of operation approval form furnished by the Village shall be submitted prior to scheduling before the Plan Commission.

17.0503 REVIEW AND APPROVAL.

The Plan Commission shall review the site, existing and proposed structures, architectural plans, neighboring uses, parking areas, driveway locations, highway access, traffic generation and circulation, drainage, sewerage and water systems, the proposed operation, and other factors the Plan Commission determines are appropriate when considering a Conditional Use Permit.

A. Conditional Use permits shall have the following process:

1. The Applicant shall meet with Administrator or designee in a pre-application conference to discuss the application and plans.

2. The Applicant applies for a Conditional Use Permit by completing the Village application form. Incomplete applications will not be accepted. If that threshold is met, the Administrator or designee sets the application for introduction to the Plan Commission. If the minimum threshold is not met the application is returned to the petitioner with a rational for denial.

3. The Administrator or designee introduces the CU application at the next available Plan Commission meeting after completion by the Administrator of the response to the

Conditional Use Standards/Conditions Exhibit

Applicant's Impact Report if applicable under 17.0506 A or 17.0506 B. The application materials are provided to the Plan Commission along with a staff report on the matter outlining critical details of the application and code compliance. The Plan Commission concurs the application is complete and sets forth the application for public hearing or the Plan Commission finds the application incomplete and remands it to the Petitioner for completion.

a) Procedure for a Public Hearing before the Plan Commission:

- 1) Refer to Section 17.1401.
- 2) Any person may appear in person, by agent, or attorney.
- 3) The Plan Commission shall afford the applicant and each interested person opportunity to present evidence to rebut or offer countervailing evidence.
- 4) The Plan Commission shall take minutes of the proceedings and shall mark and preserve all exhibits. The Plan Commission shall, when requested by an applicant or a petitioner objecting to the action, cause the proceedings to be taken by a stenographer or by a recording device provided that the applicant or the petitioner objecting making the request pays any and all costs for the stenographer or recording device and any copies of the proceedings. If requested by both the applicant and the petitioner, the costs shall be split evenly unless otherwise agreed to by the parties.

4. At the public Hearing the Plan Commission will hear from the applicant, Village, and the public on the application's compliance with the standards of the Code. The purpose of the hearing is to gather the record, for the Petitioner to prove with substantial evidence they meet the standards of the code or the public to prove they don't and to address concerns from the public and or Plan Commission and render a decision if appropriate or to determine what remains to be discussed at the next meeting. Only substantial evidence may be considered by the Plan Commission. At the summation of the initial public hearing date the Plan Commission may give the following direction to the petitioner and to the public:

- a) The remaining questions/standards that need to be proved/responded to.
- b) Additional conditions to include in the CU Order that the Plan Commission deems appropriate. The Petitioner will need to prove they can meet those at the adjourned public hearing date.
- c) Direction to staff to prepare the Conditional Use Order or a finding the Petitioner does not meet the standards for approval for consideration at the next meeting. The Plan Commission may also delay either of these directions to hear more evidence at the next meeting, although such delay will result in another adjourned public hearing date for due process purposes.
- d) Adjourn the public hearing to a date certain.

5. At the adjourned public hearing date if the public hearing was extended for additional evidence collection, the Plan Commission will hear from the applicant, Village, and the public on evidence in support or opposition to items from 17.0503 A 4.(A. and B.) and to the CU Order itself. The purpose of the hearing is to gather the record on any additional standards imposed by the Plan Commission from the first public hearing and to gather evidence on the CU Order itself. Only substantial evidence will be considered by the Plan Commission. At the summation of the public hearing the Plan Commission will give direction requesting additional evidence and adjourn the public hearing to a date certain or close the public hearing.

6. After the closing of the public hearing the Plan Commission during its regular meeting or at a subsequent meeting where the agenda item is duly noticed shall discuss the plans and Conditional Use Order or Findings for Denial and act on the agenda item(s). The decision shall be based upon the record from the public hearings. The burden of proof is on the applicant to prove they have met the standards of the Ordinance and those set forth by the Plan Commission during the process. The Plan Commission shall render its written determination and the reasons for the same within 95 days from completion of the public hearing unless an extension is consented to in writing by the applicant. The Clerk shall mail a copy of the determination to the applicant.

Conditional Use Standards/Conditions Exhibit

7. Conditions such as landscaping, architectural design, type of construction, flood proofing, anchoring of structures, construction commencement and completion dates, sureties, lighting, fencing, planting screens, operational control, hours of operation, improved traffic circulation, deed restrictions, highway access restrictions, increased yards, parking requirements, or length of approval may be required by the Plan Commission upon its finding that these are necessary to fulfill the purpose and intent of this ordinance.

B. Compliance with all other provisions of this ordinance, such as lot width and area, yards, height, parking, loading, traffic, and highway access shall be required of all conditional uses unless otherwise specifically authorized to be modified by this Code. Variances shall only be granted as provided in Section 17.1200 of this ordinance.

C. Changes in use subsequent to the initial issuance of a conditional use permit shall result in a need to change the initial conditions and shall require an amendment to the conditional use permit. Enlargement of a conditional use shall not be considered an amendment. If any holder of a conditional use permit wishes to extend or alter the terms of such permit, the permit holder must apply for an amendment to the conditional use permit through the procedure of application for conditional use permits detailed herein. The process for amending a permit shall generally follow the procedures for granting a permit as set forth in Sections 17.0501, 17.0502 and 17.0503, and shall require the filing of an application and a hearing as provided above. The Conditional Use Order may describe changes that can be made without requiring a new permit.

D. Conditional Use Orders shall generally have 5 year terms unless otherwise specified by the Plan Commission. The Orders shall have an administrative renewal process established within the order to allow for streamlined renewal of the conditional use order with a provision that allows the Plan Commission to remove the Conditional Use Order from automatic renewal if there are concerns with compliance with the CU order or concerns raised by the public about the applicant's operations. If the Plan Commission pulls the CU order from automatic approval the CU order shall remain in effect while the Plan Commission provides due process to the applicant in reviewing the CU Order and its renewal.

E. No use is hereby authorized unless the use is conducted in a lawful, orderly and peaceful manner. Nothing in a CU order shall be deemed to authorize any public or private nuisance or to constitute a waiver, exemption, or exception to any law, ordinance, order or rule of either the Village Board, County of Waukesha, State of Wisconsin, or the United States of America, or other duly constituted authority. A CU order does not constitute a building permit, nor shall a CU order constitute any other license or permit required by Village Ordinance or law.

17.0506 CONDITIONAL USES

C. ENVIRONMENTAL PROTECTION CONDITIONAL USES The following uses are conditional uses within environmental protection districts or for environmental protection in general and may be permitted as specified.

- b) *Solar Energy Conversion Systems, commonly referred to as "active" or "passive" solar collection and heating systems and including all systems as defined by Section 101.57 (8) (b) of the Wisconsin Statutes when such systems are erected as an accessory structure may be permitted in any district.*
- 1) *Application: Applications for the erection of a solar energy conversion system shall be accompanied by a plat of survey for the property to be served showing the location of the conversion system and the means by which the energy will be provided to the structure or structures.*
 - 2) *Construction: Solar energy conversion systems shall be constructed and installed in conformance with all applicable state and local building and zoning codes.*
 - 3) *Location and Height: Solar energy conversion systems shall meet all setback and yard requirements for the district in which they are located. Solar energy conversion systems*

Conditional Use Standards/Conditions Exhibit

shall conform to all height requirements of the zoning code unless otherwise provided in the conditional use permit issued pursuant to this section.

The General Provisions of Chapter 17.0200

The Zoning District Standards 17.0400 and in particular the standards of the B-4 Central Mixed Use Business District (17.0419).

Site Plan Review Standards 17.1000

17.1002 PRINCIPLES To implement and define criteria for the purposes set forth in Section 17.1001, the following principles are established to apply to all new structures and uses and to changes or additions to existing structures and uses.

A. No structure, or use shall be established that is counter to the intent of the Design Standards nor shall the same be permitted that would have a negative impact on the maintenance of safe and healthful conditions in the Village. Structures and uses in the B-4 Central Mixed Use District shall also adhere to the intent of the Downtown Development and Design Plan.

B. No structure shall be permitted:

1. The design or exterior appearance of which is of such unorthodox or abnormal character in relation to its surroundings as to be unsightly or offensive to generally accepted taste and community standards.

2. The design or exterior appearance of which is so identical to a building on lots within 500 feet of each other that it creates excessive monotony or 17.1000 drabness, in order to realize architectural uniqueness between lots.

3. Where any exposed facade is not constructed or faced with a finished material or color which is aesthetically compatible with the other facades and presents an attractive appearance to the public and to surrounding properties.

C. The facade of a manufacturing building which faces upon a street right-of-way shall be finished with an aesthetically pleasing material. A minimum of 50 percent of a facade facing a street shall be finished with brick or decorative masonry material. Such masonry facing shall extend for a distance of at least 10 feet along the sides of the structure. Manufacturing buildings on corner lots shall have the required masonry facade facing each street. Metal buildings may be constructed in any business, manufacturing, institutional, or park district, but only by a 3/4 affirmative vote of the Plan Commission.

D. Building Scale and Mass. The relative proportion of a building to its neighboring buildings, to pedestrians and observers, or to other existing buildings shall be maintained or enhanced when new buildings are built or when existing buildings are remodeled or altered.

E. Structures and uses shall make appropriate use of open spaces and the Plan Commission may require appropriate landscaping and planting screens. All landscaped areas shall provide a mix of climax trees, tall and medium deciduous trees, tall and medium coniferous trees, deciduous and coniferous shrubs, and grasses. The appropriate mix shall be determined by the Plan Commission.

F. No articles, goods, material, finished or unfinished product, incinerators, storage tanks, refuse containers, or like equipment shall be kept outdoors, exposed to public view, or exposed to view from adjacent buildings and property. Garbage and refuse containers shall be screened from the street and from neighboring facilities. The Plan Commission may permit the outdoor display of product or merchandise when it makes a finding that such display is essential to a business or industrial use.

G. Structures and uses shall be provided with adequate services as approved by the appropriate utility and serve to implement the recommendations of Utility and Stormwater Management Plans of the Village.

Conditional Use Standards/Conditions Exhibit

H. Buildings and uses shall provide adequate parking and loading areas. No loading dock or overhead door shall face upon a street right-of-way unless a determination is made by the Plan Commission to allow the same, as described herein.

1. The Plan Commission shall not allow the same unless the Plan Commission first finds either a or b: (a) That the loading dock or overhead door is set back at least 75 feet from the street right-of-way and adequate vehicle turnaround areas have been provided on the lot, such that no maneuvering of vehicles will take place within the street right-of-way in order to access the loading dock or overhead door. (b) That the building is on a lot within the M-1 Industrial District and the building has a previously approved loading dock facing the street.

2. If the Plan Commission finds (1) (a) or (1) (b), above, then the Plan Commission may allow the loading dock or overhead door to face the street right-of-way upon consideration of the following additional factors, without limitation by reason of enumeration: 17.1000 (a) Whether the loading dock or overhead door is set back sufficiently from the street right-of-way to adequately limit the adverse visual impact of the loading dock or overhead door; (b) Whether the number of loading docks or overhead doors that are proposed to face the street right-of-way, due to their number, would create an adverse visual impact; (c) Whether the natural terrain and other existing features of the lot may affect the visual impact of the loading dock or overhead door; and (d) Whether the loading dock or overhead door will be appropriately screened with landscape berms or other landscaping.

Any other standards from Chapter 17 that may be relevant.

THE MELISSA GOEDDE RESIDENCE
W232N6274 WAUKESHA AVENUE, SUSSEX, WI 53089
6.00 kW (AC) AND 7.665 kW (DC) PHOTOVOLTAIC SYSTEM



COVER SHEET

THE MELISSA GOEDDE RESIDENCE
W232N6274 WAUKESHA AVENUE,
SUSSEX, WI 53089
(414) 534-5536

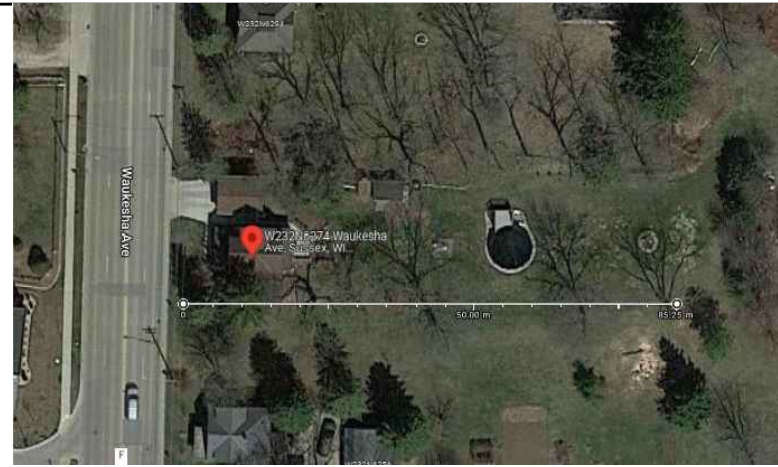
SOLENERGY
PHIL SUTTER
LIC#: DC-04210045 EXP: 2023
7182 HWY 14, #201
MIDDLETON, WI 53562
760.341.1413
jdhirbrunner@solenergysolar.com
SIGNED: _____ DATE: _____

9.21.22
DRAWN BY: BPM
APN: SUXV0245975
LOT: 0.45 Acres
DWELLING: ---

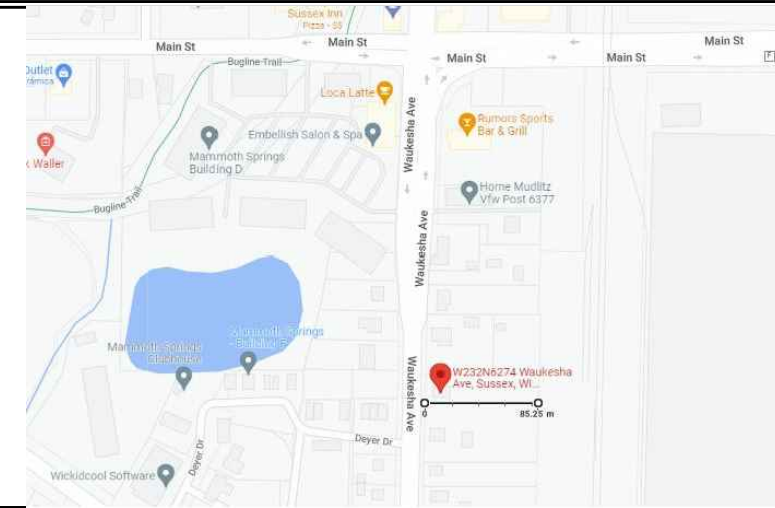
C-1

MODULE DIM: 67.59" X 41.14"
 MODULE WEIGHT: 43.87 lbs
 NUMBER OF STORIES: 01
 STRUCTURE TYPE: GROUND MOUNT

(1)STRING OF (11) Q.PEAK DUO BLK-G10+ 365W MODULES WITH (11) S440 POWER OPTIMIZERS
 (1)STRING OF (10) Q.PEAK DUO BLK-G10+ 365W MODULES WITH (10) S440 POWER OPTIMIZERS



VICINITY MAP



SCOPE OF WORK

THIS PROJECT CONSISTS OF THE INSTALLATION OF (21) PHOTOVOLTAIC MODULES WITH (21) POWER OPTIMIZERS AND (1) UTILITY INTERACTIVE INVERTER. PV MODULES WILL BE GROUND MOUNTED USING SUNMODO SUNTURF GROUND SCREW MOUNTING SYSTEM.

THE ATTACHMENT SYSTEM IS SPECIFICALLY DESIGNED TO WITHSTAND 100MPH WIND LOADS, 30PSF SNOW LOADS AND SEISMIC LOADS ON EXISTING ROOFTOPS. REFER TO CODE COMPLIANT INSTALLATION MANUAL FOR DETAILED INFORMATION AND WATER PROOFING SPECIFICATIONS.

SHEET INDEX

SHEET NO.	INDEX NO.	DESCRIPTION:
01	C-1	COVER SHEET
02	T-1	TITLE SHEET
03	M-1	PHOTOVOLTAIC EQUIPMENT PLAN
04	E-1	SINGLE LINE DIAGRAM
05	D-1	PHOTOVOLTAIC MODULE DATA SHEET
06	D-2	INVERTER DATA SHEET
07	D-3	POWER OPTIMIZER DATA SHEET
08	D-4	AC DISCONNECT DATA SHEET
9-15	D-5-D-11	ATTACHMENT DATA SHEET
16	D-12	METER DATASHEET
17	L-1	WARNING PLACARDS

PROJECT JURISDICTION

PREPARED FOR:
 CITY OF COUNTY: VILLAGE OF SUSSEX
 ADDRESS: N64W23760 MAIN STREET
 CITY, STATE, ZIP: SUSSEX, WI 53089
 PH: 262-246-5212

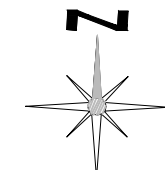
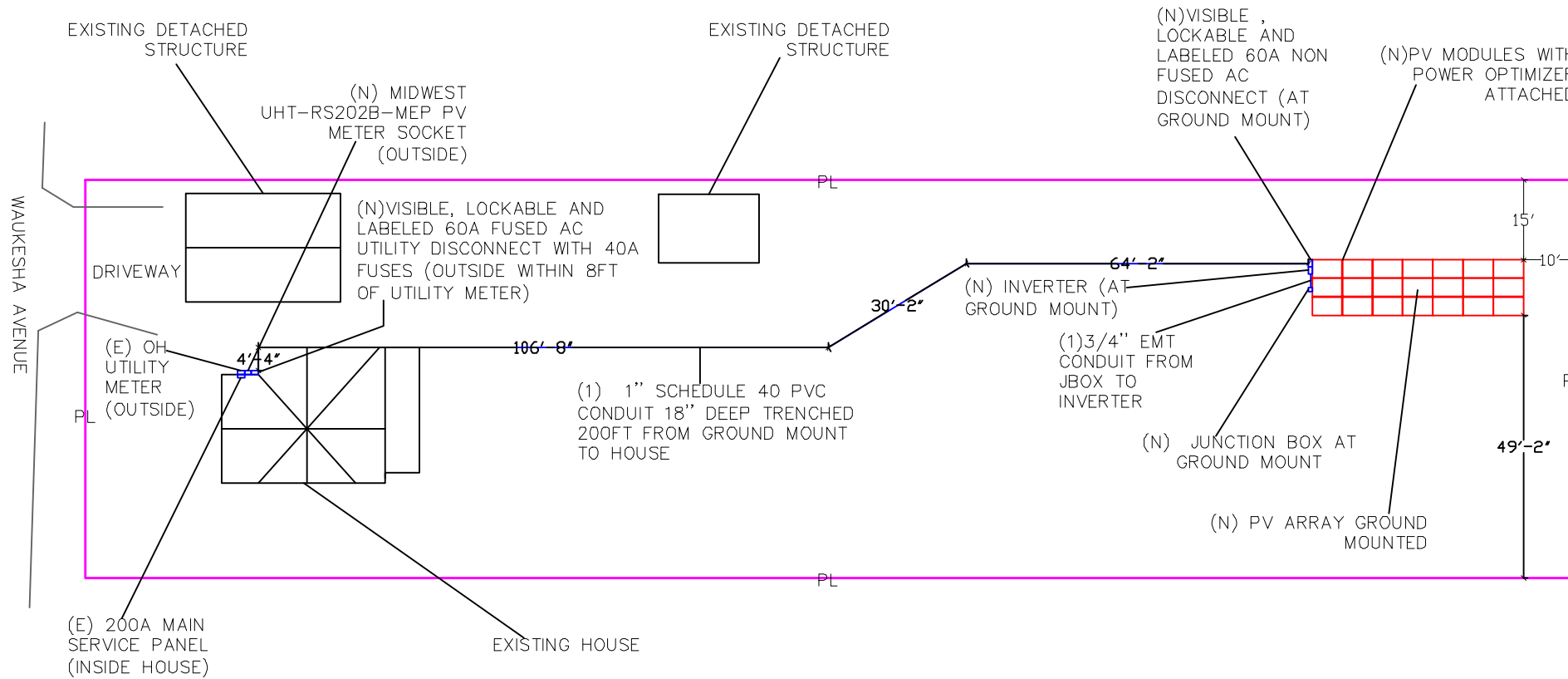
CODE COMPLIANCE

ALL WORK SHALL CONFORM TO ALL PERTINENT CODES, REGULATIONS, LAWS, AND ORDINANCES AS REQUIRED BY THE STATE OF WISCONSIN

- 2017 NATIONAL ELECTRICAL CODE
- 2015 INTERNATIONAL BUILDING CODE
- 2015 INTERNATIONAL EXISTIGN BUILDING CODE
- 2015 INTERNATIONAL FUEL GAS CODE
- 2015 INTERNATIONAL MECHANICAL CODE
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE-RESIDENTIAL
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE-COMMERCIAL

PV SYSTEM SPECIFICATIONS

MODULE	QTY.	INVERTER	QTY.	RACKING	TILT	AZIMUTH	DC POWER RATING (STC)
HANWHA Q.PEAK DUO BLK-G10+ 365W	21	SOLAREGE INVERTER SE6000H-US (240V) S440 POWER OPTIMIZERS	21	SUNMODO SUNTURF GROUND SCREW MOUNTING SYSTEM	30°	180°	7.665 kW



PHOTOVOLTAIC INSTALLATION PLAN

1 SCALE: 1"=30'



TITLE SHEET

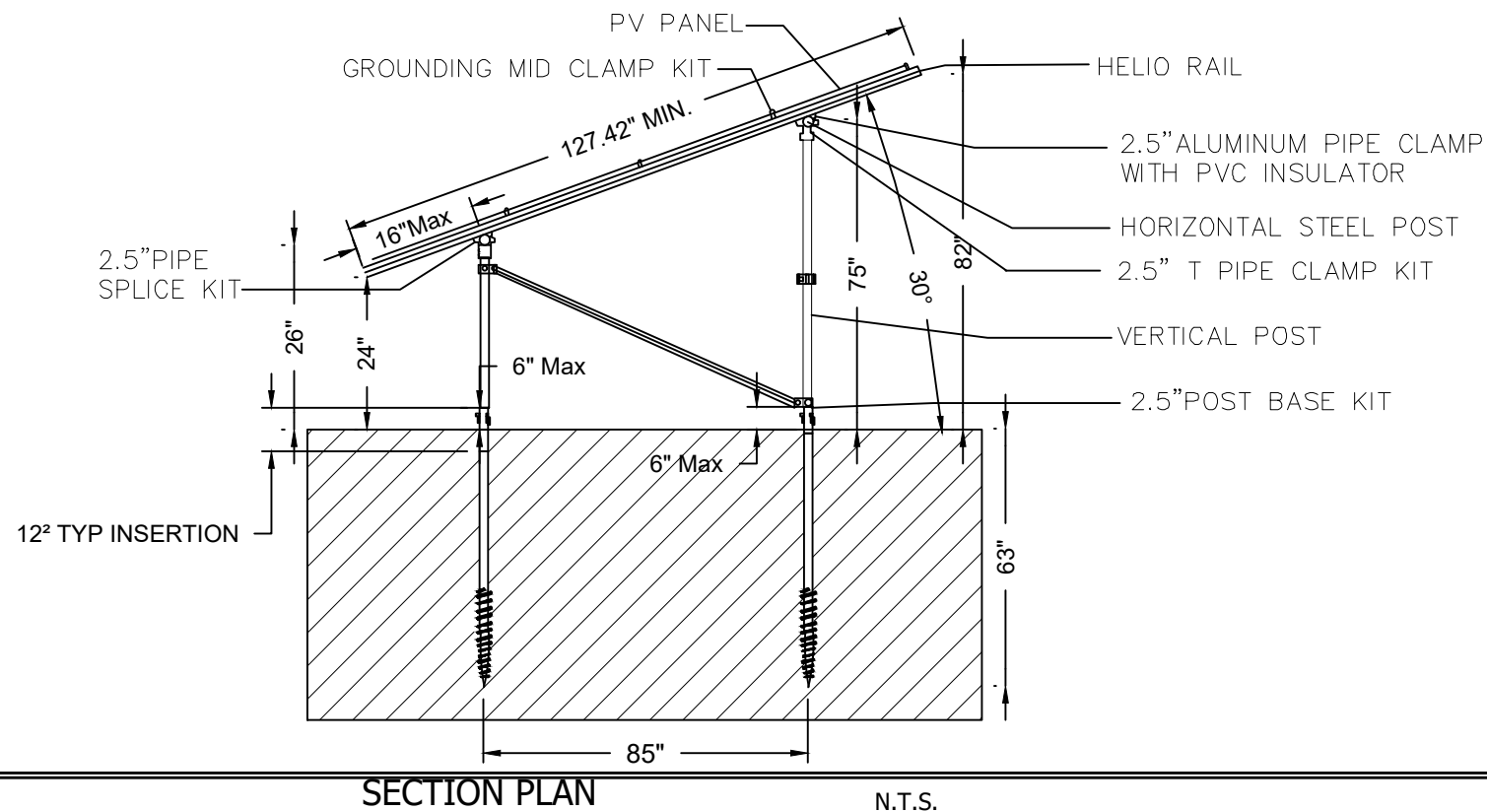
THE MELISSA GOEDDE RESIDENCE
 W232N6274 WAUKESHA AVENUE,
 SUSSEX, WI 53089
 (414) 534-5536

SOLENERGY
 PHIL SUTTER
 LIC#: DC-04210045 EXP: 2023
 7182 HWY 14, #201
 MIDDLETON, WI 53562
 760.341.1413
 jdhirbrunner@solenergysolar.com
 SIGNED: _____ DATE: _____

9.21.22

DRAWN BY: BPM
 APN: SUXV0245975
 LOT: 0.45 Acres
 DWELLING: ---

T-1

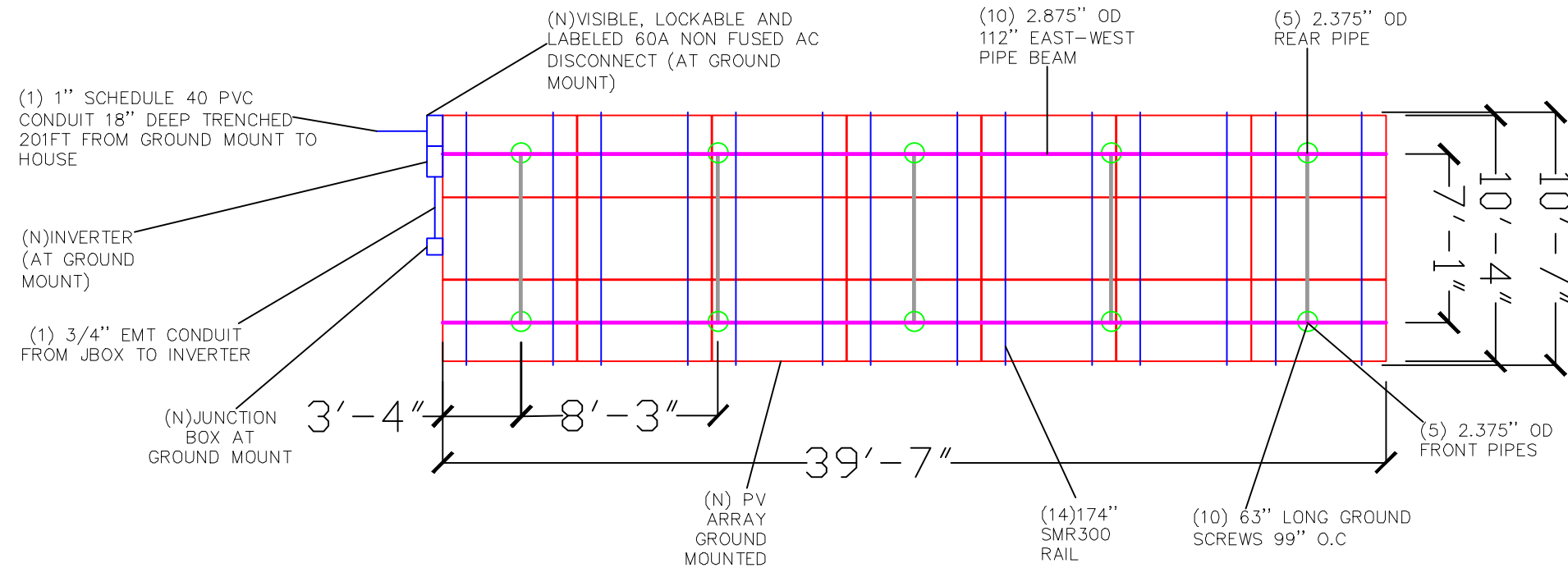


SECTION PLAN N.T.S.

GROUND LOAD CALCULATION

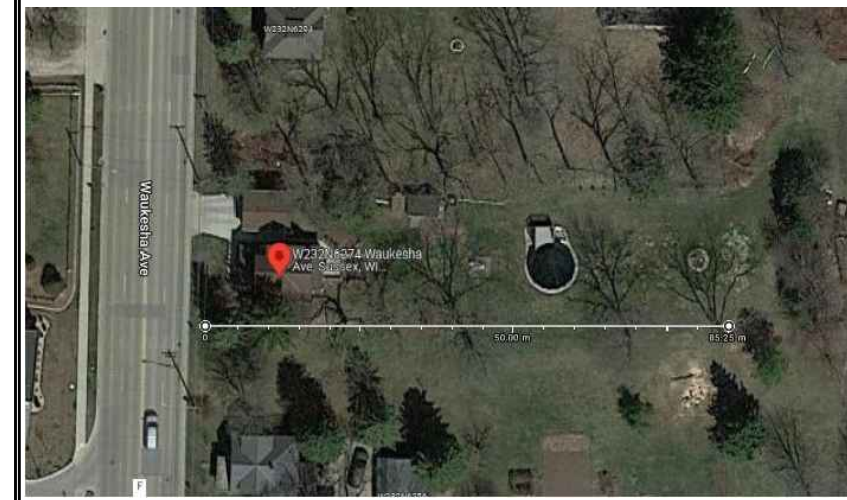
GROUND: 21 PANELS
 PV AREA SINGLE MODULE: 19.31 SQ. FT.
 PV AREA TOTAL: 405.51 SQ. FT.
 PV PANEL WEIGHT = 43.87 lbs
 MOUNTING HARDWARE WEIGHT = 10 lbs/panel
 ENTIRE WEIGHT ON GROUND:
 (43.87 lbs, panels)x(21)+
 (1.5 lb power optimizers)x(21)+
 (10 lbs, structure)x(21)=1,162.77 lbs
 [921.27+31.5+210]

1,162.77 lbs/405.51 sq.ft.=2.86 lbs/sqft



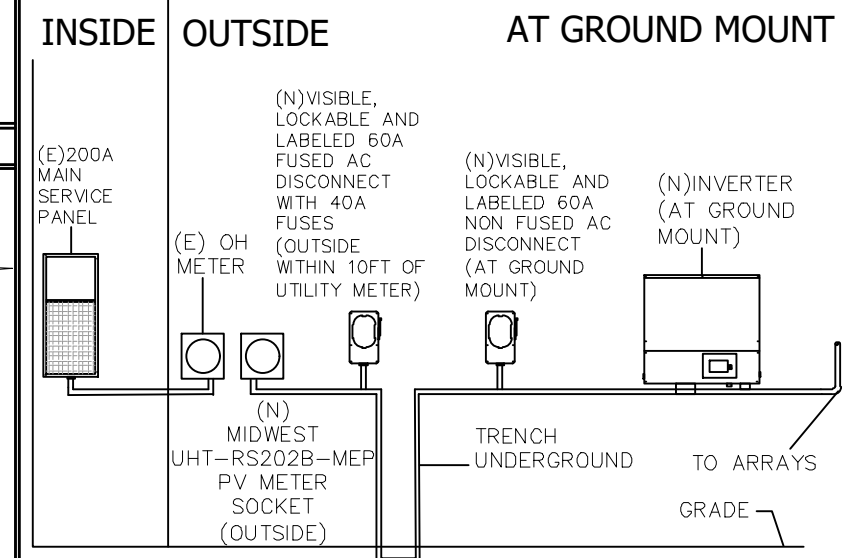
PV LAYOUT PLAN

1 SCALE: 1' = 3/16"



AERIAL VIEW

CLASS 1 - DIVISION 1 (N) JUNCTION BOX ON GROUND MOUNT
 METALLIC CONDUIT W/NO JOINTS



MAIN SERVICE ELEVATION

GENERAL NOTES:

1. CONDUIT RUNS ARE DIAGRAMMATIC, SUBJECT TO FIELD CONDITIONS AND INSTALLATION CONTRACTOR'S FINAL LOCATIONS THAT MEET NEC REQUIREMENTS.
2. ALL EQUIPMENT INSTALLED SHALL BE IN ACCORDANCE WITH ALL LOCAL BUILDING AND ELECTRICAL CODES.
3. THE INSTALLATION CONTRACTOR SHALL BE RESPONSIBLE FOR READING AND UNDERSTANDING THE SECTION OF THE INVERTERS OPERATION AND MAINTENANCE MANUAL THAT PERTAINS TO THE SAFETY AND PROPER INSTALLATION.
4. THE SYSTEM SHALL NOT BE INTERCONNECTED UNTIL APPROVAL FROM LOCAL JURISDICTION AND THE UTILITY IS OBTAINED.
5. ALL CONDUCTORS TO BE COPPER UNLESS SPECIFIED OTHERWISE.
6. THE SOLAR PHOTOVOLTAIC INSTALLATION WILL NOT OBSTRUCT ANY PLUMBING, MECHANICAL OR BUILDING ROOF VENTS.
7. LIQUID TIGHT FLEXIBLE CONDUIT SHALL BE SUNLIGHT RESISTANT.
8. THIS IS A UTILITY INTERACTIVE SYSTEM WITH NO STORAGE BATTERIES



PV EQUIPMENT PLAN

THE MELISSA GOEDDE RESIDENCE
 W232N6274 WAUKESHA AVENUE,
 SUSSEX, WI 53089
 (414) 534-5536

SOLENERGY
 PHIL SUTTER
 LIC#: DC-04210045 EXP: 2023
 7182 HWY 14, #201
 MIDDLETON, WI 53562
 760.341.1413
 jdhirbrunner@solenergysolar.com

9.21.22

DRAWN BY: BPM
 APN: SUXV0245975
 LOT: 0.45 Acres
 DWELLING: ---

M-1

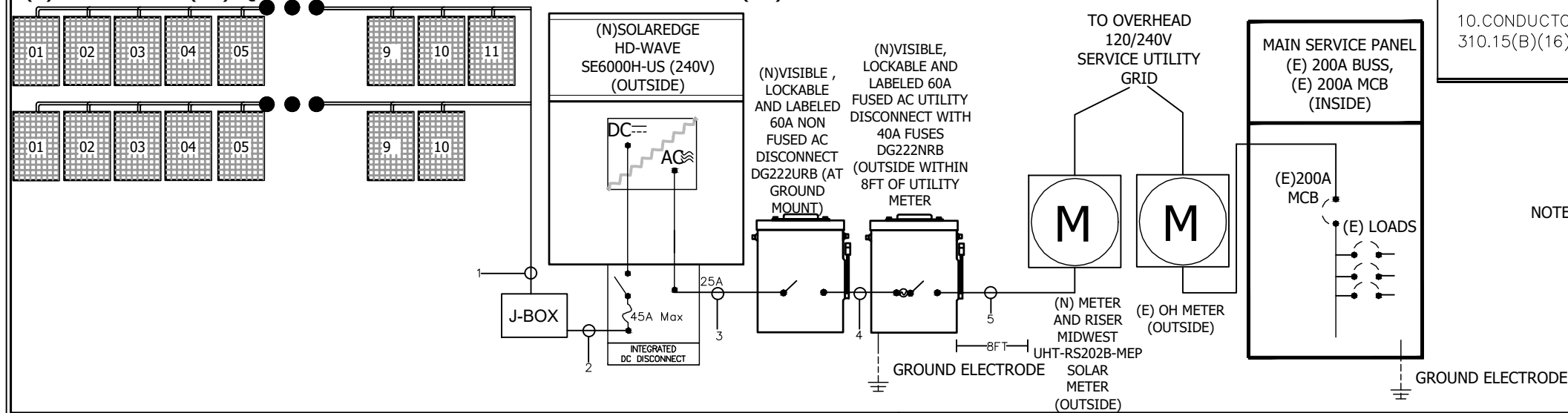
SINGLE LINE DIAGRAM: DC SYSTEM SIZE-7,665W AND AC SYSTEM SIZE-6,000W

ELECTRICAL NOTES

INVERTER SPECIFICATIONS		MODULE SPECIFICATIONS	
MODEL	SOLAREEDGE HD-WAVE SE6000H-US	MODEL	HANWHA Q CELLS 365W Q.PEAK DUO BLK-G10+
MAX CONTINUOUS OUTPUT POWER	6,000W	MODULE POWER @ STC	365W
MAX OUTPUT CURRENT	25A	OPEN CIRCUIT VOLTAGE: VOC	41.24V
CEC WEIGHTED EFFICIENCY	99%	MAX POWER VOLTAGE: VMP	34.58V
MAX DC VOLTAGE	480V	SHORT CIRCUIT CURRENT: ISC	11.07A
MAX DC POWER	9,300W	MAX POWER CURRENT: IMP	10.56A

- 1.CONDUCTORS EXPOSED TO SUNLIGHT SHALL BE LISTED AS SUNLIGHT RESISTANT PER NEC 310.10(D).
- 2.CONDUCTORS EXPOSED TO WET LOCATIONS SHALL BE SUITABLE FOR USE IN WET LOCATIONS PER NEC 310.10(C).
- 3.MAXIMUM DC/AC VOLTAGE DROP SHALL BE NO MORE THAN 2%.
- 4.ALL CONDUCTORS SHALL BE IN CONDUIT UNLESS OTHERWISE NOTED.
- 5.BREAKER/FUSE SIZES CONFORMS TO NEC 240.6 CODE SECTION.
- 6.AC GROUNDING ELECTRODE CONDUCTOR SIZED PER NEC 250.66.
- 7.AMBIENT TEMPERATURE CORRECTION FACTOR IS BASED ON NEC 690.31(C).
- 8.AMBIENT TEMPERATURE ADJUSTMENT FACTOR IS BASED ON NEC 310.15(B)(2).
- 9.MAX. SYSTEM VOLTAGE CORRECTION IS PER NEC 690.7.
- 10.CONDUCTORS ARE SIZED PER WIRE AMPACITY TABLE NEC 310.15(B)(16).

PV ARRAY WITH (21) TOTAL MODULES AND (21) POWER OPTIMIZERS
(1) STRING OF (11) Q.PEAK DUO BLK-G10+ 365W MODULES WITH (11) SE S440 POWER OPTIMIZERS
(1) STRING OF (10) Q.PEAK DUO BLK-G10+ 365W MODULES WITH (10) SE S440 POWER OPTIMIZERS



NOTE: AC DISCONNECT IS PLACED WITHIN 8FT OF THE UTILITY METER

CONDUIT SCHEDULE				
TAG ID	CONDUIT SIZE	CONDUCTOR	NEUTRAL	GROUND
1	NONE	(4) #10 AWG THHN/THWN-2	NONE	(2)#8 AWG BARE COPPER
2	(1) 3/4 " EMT	(4) #10 AWG THHN/THWN-2	NONE	(1)#8 AWG BARE COPPER
3	(1) 3/4 " EMT	(2) #8 AWG THHN/THWN-2	(1) #8 AWG	(1)#8 AWG BARE COPPER
4	(1) 1 " PVC	(2) #8 AWG THHN/THWN-2	(1) #8 AWG	(1)#8 AWG BARE COPPER
5	(1) 3/4 " EMT	(2) #6 AWG THHN/THWN-2	(1) #6 AWG	(1)#6 AWG BARE COPPER

NOTE:
 MAIN PANEL RATING: 200A, MAIN BREAKER RATING: 200A
 LINE SIDE TAP :100% ALLOWABLE BACKFEED IS = 200A

OCPP CALCULATIONS:
 INVERTER OVERCURRENT PROTECTION= INVERTER O/P I X CONTINOUS LOAD (1.25)=
 1.25 X 25A= 31.25A = PV BREAKER
 TOTAL REQUIRED PV BREAKER SIZE/FUSE SIZE= 40A MIN

ELECTRICAL CALCULATIONS

AC WIRE CALCULATIONS: -MATERIAL: COPPER & TEMPERATURE RATING 90°C				
TAG ID	REQUIRED CONDUCTOR AMPACITY	CORRECTED AMPACITY CALCULATION	DERATED CONDUCTOR AMPACITY CHECK	
3	25A X 1.25 = 31.25A	#8AWG = 55 X 0.87 X 1 = 47.85	31.25A LESS THAN 47.85A	
4	25A X 1.25 = 31.25A	#6AWG = 75 X 0.87 X 1 = 65.25A	31.25A LESS THAN 65.25A	
DC WIRE CALCULATIONS: -MATERIAL: COPPER & TEMPERATURE RATING 90°C				
TAG ID	REQUIRED CONDUCTOR AMPACITY	CORRECTED AMPACITY CALCULATION	DERATED CONDUCTOR AMPACITY CHECK	
1,2	11.07 X 1.56= 17.26A	#10AWG = 40 X 0.87 X 1 = 34.8A	17.26A LESS THAN 34.8A	



SINGLE LINE DIAGRAM

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SIGNED: _____ DATE: _____

8.23.22

DRAWN BY: BPM
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 LOT: 0.45 Acres
 DWELLING: ---

E-1

4



Q.PEAK DUO BLK-G10+ 350-370

ENDURING HIGH PERFORMANCE



BREAKING THE 20% EFFICIENCY BARRIER

Q.ANTUM DUO Z Technology with zero gap cell layout boosts module efficiency up to 20.9%.



THE MOST THOROUGH TESTING PROGRAMME IN THE INDUSTRY

Q CELLS is the first solar module manufacturer to pass the most comprehensive quality programme in the industry. The new "Quality Controlled PV" of the independent certification institute TÜV Rheinland.



INNOVATIVE ALL-WEATHER TECHNOLOGY

Optimal yields, whatever the weather with excellent low-light and temperature behaviour.



ENDURING HIGH PERFORMANCE

Long-term yield security with Anti LID Technology, Anti PID Technology¹, Hot-Spot Protect and Traceable Quality Tra.Q™.



EXTREME WEATHER RATING

High-tech aluminium alloy frame, certified for high snow (5400 Pa) and wind loads (4000 Pa).



A RELIABLE INVESTMENT

Inclusive 25-year product warranty and 25-year linear performance warranty².

¹ APT test conditions according to IEC/TS 62804-1:2015, method A (-1500V, 96h)
² See data sheet on rear for further information.

THE IDEAL SOLUTION FOR:



Roof-top arrays on residential buildings

Engineered in Germany

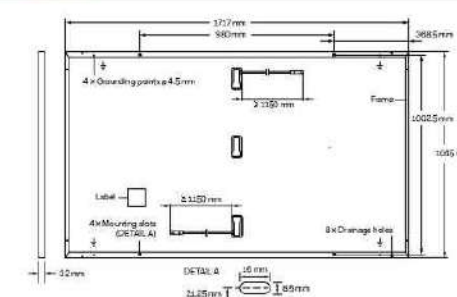


Engineered in Germany



MECHANICAL SPECIFICATION

Format	1717 mm x 1045 mm x 32 mm (including frame)
Weight	19.9 kg
Front Cover	3.2 mm thermally pre-stressed glass with anti-reflection technology
Back Cover	Composite film
Frame	Black anodised aluminium
Cell	6 x 20 monocrystalline Q.ANTUM solar half cells
Junction box	53-101 mm x 32-60 mm x 15-18 mm Protection class IP67, with bypass diodes
Cable	4 mm ² Solar cable (+) ≥ 1150 mm, (-) ≥ 1150 mm
Connector	Siäubli MC4; IP68

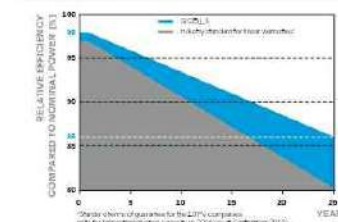


ELECTRICAL CHARACTERISTICS

POWER CLASS		350	355	360	365	370
MINIMUM PERFORMANCE AT STANDARD TEST CONDITIONS, STC ¹ (POWER TOLERANCE +5 W / -0 W)						
Power at MPP ²	P _{MPP} [W]	350	355	360	365	370
Short Circuit Current ²	I _{SC} [A]	10.97	11.00	11.04	11.07	11.10
Open Circuit Voltage ²	V _{OC} [V]	41.11	41.14	41.18	41.21	41.24
Current at MPP	I _{MPP} [A]	10.37	10.43	10.49	10.56	10.62
Voltage at MPP	V _{MPP} [V]	33.76	34.03	34.31	34.58	34.84
Efficiency ²	η [%]	≥ 19.5	≥ 19.8	≥ 20.1	≥ 20.3	≥ 20.6
MINIMUM PERFORMANCE AT NORMAL OPERATING CONDITIONS, NMOT ²						
Power at MPP	P _{MPP} [W]	262.6	266.3	270.1	273.8	277.6
Short Circuit Current	I _{SC} [A]	8.84	8.87	8.89	8.92	8.95
Open Circuit Voltage	V _{OC} [V]	38.77	38.80	38.83	38.86	38.90
Current at MPP	I _{MPP} [A]	8.14	8.20	8.26	8.31	8.37
Voltage at MPP	V _{MPP} [V]	32.24	32.48	32.71	32.94	33.17

¹ Measurement tolerances P_{MPP} ± 3%; I_{SC}; V_{OC} ± 5% at STC; 1000 W/m², 25 ± 2 °C, AM 1.5 according to IEC 60904-3 +800 W/m², NMOT, spectrum AM 1.5

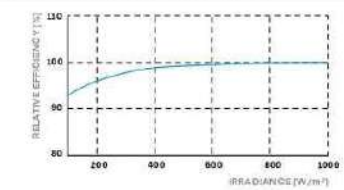
Q CELLS PERFORMANCE WARRANTY



At least 98% of nominal power during first year. Thereafter max. 0.5% degradation per year. At least 93.5% of nominal power up to 10 years. At least 86% of nominal power up to 25 years.

All data within measurement tolerances. Full warranties in accordance with the warranty terms of the Q CELLS sales organisation of your respective country.

PERFORMANCE AT LOW IRRADIANCE



Typical module performance under low irradiance conditions in comparison to STC conditions (25 °C, 1000 W/m²).

TEMPERATURE COEFFICIENTS

Temperature Coefficient of I _{SC}	α [%/K]	+0.04	Temperature Coefficient of V _{OC}	β [%/K]	-0.27
Temperature Coefficient of P _{MPP}	γ [%/K]	-0.34	Nominal Module Operating Temperature	NMOT [°C]	43 ± 3

PROPERTIES FOR SYSTEM DESIGN

Maximum System Voltage	V _{MYS} [V]	1000	PV module classification	Class II
Maximum Reverse Current	I _R [A]	20	Fire Rating based on ANSI / UL 61730	C/TYP2
Max. Design Load, Push / Pull	[Pa]	3600 / 2660	Permitted Module Temperature on Continuous Duty	-40 °C - +85 °C
Max. Test Load, Push / Pull	[Pa]	5400 / 4000		

QUALIFICATIONS AND CERTIFICATES

Quality Controlled PV - TÜV Rheinland
IEC 61215:2016; IEC 61730:2016
This data sheet complies with DIN EN 60380
QCPV Certification tracking.

Note: Installation instructions must be followed. See the installation and operating manual or contact our technical service department for further information on approved installation and use of this product.

Hanwha Q CELLS GmbH
Sommerlee 17-21, 06766 Bitterfeld-Wolfen, Germany | TEL +49 (0)3494 66 99-23444 | FAX +49 (0)3494 66 99-23000 | EMAIL sales@q-cells.com | WEB www.q-cells.com

Specifications subject to technical changes © Q CELLS Q.PEAK DUO BLK-G10+ 350-370 2021-08 Rev-01_EN



MODULE DATA SHEET

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jdhirbrunner@solenergysolar.com

SIGNED: _____ DATE: _____

8.23.22
DRAWN BY: BPM
APN: SUXV0245975
LOT: 0.45 Acres
DWELLING: ---

D-1

5

Single Phase Inverter with HD-Wave Technology

for North America

SE3000H-US / SE3800H-US / SE5000H-US / SE6000H-US / SE7600H-US / SE10000H-US / SE11400H-US

12-25
YEAR
WARRANTY



INVERTERS

Optimized installation with HD-Wave technology

- Specifically designed to work with power optimizers
- Record-breaking efficiency
- Fixed voltage inverter for longer strings
- Integrated arc fault protection and rapid shutdown for NEC 2014 and 2017, per article 690.11 and 690.12
- UL1741 SA certified, for CPUC Rule 21 grid compliance
- Extremely small
- Built-in module-level monitoring
- Outdoor and indoor installation
- Optional: Revenue grade data, ANSI C12.20 Class 0.5 (0.5% accuracy)

solaredge.com



Single Phase Inverter with HD-Wave Technology for North America

SE3000H-US / SE3800H-US / SE5000H-US / SE6000H-US / SE7600H-US / SE10000H-US / SE11400H-US

	SE3000H-US	SE3800H-US	SE5000H-US	SE6000H-US	SE7600H-US	SE10000H-US	SE11400H-US		
OUTPUT									
Rated AC Power Output	3000	3800 @ 240V 3300 @ 208V	5000	6000 @ 240V 5000 @ 208V	7600	10000	11400 @ 240V 10000 @ 208V	VA	
Maximum AC Power Output	3000	3800 @ 240V 3300 @ 208V	5000	6000 @ 240V 5000 @ 208V	7600	10000	11400 @ 240V 10000 @ 208V	VA	
AC Output Voltage Min.-Nom.-Max. (211 - 240 - 264)	✓	✓	✓	✓	✓	✓	✓	Vac	
AC Output Voltage Min.-Nom.-Max. (183 - 208 - 229)	-	✓	-	✓	-	-	✓	Vac	
AC Frequency (Nominal)	59.3 - 60 - 60.5 ¹⁾							Hz	
Maximum Continuous Output Current @240V	12.5	16	21	25	32	42	47.5	A	
Maximum Continuous Output Current @208V	-	16	-	24	-	-	48.5	A	
GFDI Threshold	1							A	
Utility Monitoring, Islanding Protection, Country Configurable Thresholds	Yes								
INPUT									
Maximum DC Power @240V	4650	5900	7750	9300	11800	15500	17650	W	
Maximum DC Power @208V	-	5100	-	7750	-	-	15500	W	
Transformer-less, Ungrounded	Yes								
Maximum Input Voltage	480							Vdc	
Nominal DC Input Voltage	380							Vdc	
Maximum Input Current @240V ²⁾	8.5	10.5	13.5	16.5	20	27	30.5	Adc	
Maximum Input Current @208V ²⁾	-	9	-	13.5	-	-	27	Adc	
Max. Input Short Circuit Current	45							Adc	
Reverse-Polarity Protection	Yes								
Ground-Fault Isolation Detection	600k Ω Sensitivity								
Maximum Inverter Efficiency	99	99.2						%	
CEC Weighted Efficiency	99						99 @ 240V 98.5 @ 208V	%	
Nighttime Power Consumption	< 2.5							W	
ADDITIONAL FEATURES									
Supported Communication Interfaces	RS485, Ethernet, ZigBee (optional), Cellular (optional)								
Revenue Grade Data, ANSI C12.20	Optional ³⁾								
Rapid Shutdown - NEC 2014 and 2017 690.12	Automatic Rapid Shutdown upon AC Grid Disconnect								
STANDARD COMPLIANCE									
Safety	UL1741, UL1741 SA, UL1699B, CSA C22.2, Canadian AFCI according to T.I.L. M-07								
Grid Connection Standards	IEEE1547, Rule 21, Rule 14 (H)								
Emissions	FCC Part 15 Class B								
INSTALLATION SPECIFICATIONS									
AC Output Conduit Size / AWG Range	1" Maximum / 14-6 AWG				1" Maximum / 14-4 AWG				
DC Input Conduit Size / # of Strings / AWG Range	1" Maximum / 1-2 strings / 14-6 AWG				1" Maximum / 1-3 strings / 14-6 AWG				
Dimensions with Safety Switch (HxWxD)	17.7 x 14.6 x 6.8 / 450 x 370 x 174				21.3 x 14.6 x 7.3 / 540 x 370 x 185				in / mm
Weight with Safety Switch	22 / 10	25.1 / 11.4	26.2 / 11.9	38.8 / 17.6				lb / kg	
Noise	< 25				< 50				dBA
Cooling	Natural Convection								
Operating Temperature Range	-13 to +140 / -25 to +60 ⁴⁾ (-40 ⁴⁾ / -40 ⁴⁾ option ⁵⁾							°F / °C	
Protection Rating	NEMA 4X (Inverter with Safety Switch)								

¹⁾ For other regional settings please contact SolarEdge support
²⁾ A higher current source may be used; the inverter will limit its input current to the values stated
³⁾ Revenue grade inverter P/N: SExxxxH-US000NNC2
⁴⁾ For power de-rating information refer to: <https://www.solaredge.com/sites/default/files/se-temperature-derating-note-na.pdf>
⁵⁾ -40 version P/N: SExxxxH-US000NNU4

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RoHS



INVERTER DATA SHEET

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 W232N6274 WAUKESHA AVENUE,
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 jdhirsbrunner@solenergysolar.com

SIGNED: _____ DATE: _____

8.23.22
 DRAWN BY: BPM
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 LOT: 0.45 Acres
 DWELLING: ---

D-2

Power Optimizer For Residential Installations

S440, S500



POWER OPTIMIZER

Enabling PV power optimization at the module level

- Specifically designed to work with SolarEdge residential inverters
- Detects abnormal PV connector behavior, preventing potential safety issues*
- Module-level voltage shutdown for installer and firefighter safety
- Superior efficiency (99.5%)
- Mitigates all types of module mismatch loss, from manufacturing tolerance to partial shading
- Faster installations with simplified cable management and easy assembly using a single bolt
- Flexible system design for maximum space utilization
- Compatible with bifacial PV modules

* Functionality subject to inverter model and firmware version

solaredge.com



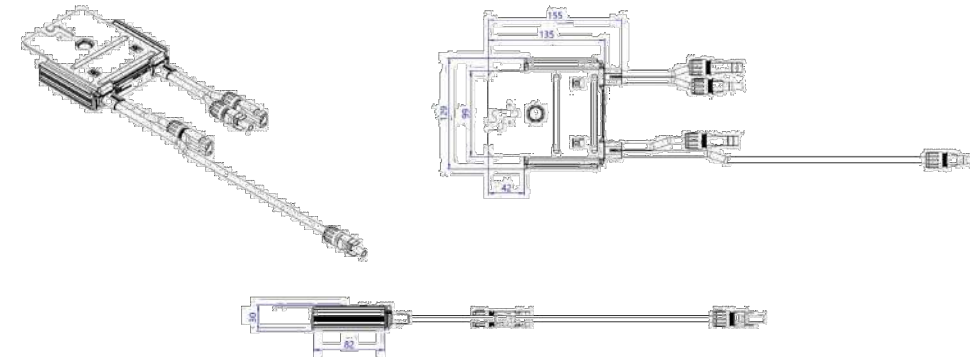
Power Optimizer For Residential Installations S440, S500

	S440	S500	UNIT
Rated Input DC Power ⁽¹⁾	440	500	W
Absolute Maximum Input Voltage (Voc)		60	Vdc
MPPT Operating Range		8 - 60	Vdc
Maximum Short Circuit Current (Isc) of Connected PV Module	14.5	15	Adc
Maximum Efficiency		99.5	%
Weighted Efficiency		98.6	%
Overvoltage Category		II	
OUTPUT DURING OPERATION			
Maximum Output Current		15	Adc
Maximum Output Voltage		60	Vdc
OUTPUT DURING STANDBY (POWER OPTIMIZER DISCONNECTED FROM INVERTER OR INVERTER OFF)			
Safety Output Voltage per Power Optimizer		1	Vdc
STANDARD COMPLIANCE			
EMC	FCC Part 15 Class B, IEC61000-6-2, IEC61000-6-3, CISPR11, EN-55011		
Safety	IEC62109-1 (class II safety), UL1741		
Material	UL94 V-0, UV Resistant		
RoHS	Yes		
Fire Safety	VDE-AR-E 2100-712:2013-05		
INSTALLATION SPECIFICATIONS			
Maximum Allowed System Voltage		1000	Vdc
Dimensions (W x L x H)		129 x 155 x 30	mm
Weight (including cables)		655 / 1.5	gr / lb
Input Connector		MC4 ⁽²⁾	
Input Wire Length		0.1	m
Output Connector		MC4	
Output Wire Length		(+) 2.3, (-) 0.10	m
Operating Temperature Range ⁽³⁾		-40 to +85	°C
Protection Rating		IP68 / NEMA6P	
Relative Humidity		0 - 100	%

(1) Rated power of the module at STC will not exceed the Power Optimizer Rated Input DC Power. Modules with up to +5% power tolerance are allowed
 (2) For other connector types please contact SolarEdge
 (3) For ambient temperature above +70°C / +158°F power de-rating is applied. Refer to Power Optimizers Temperature De-Rating Technical Note for more details

PV System Design Using a SolarEdge Inverter	Single Phase HD-Wave	Three Phase	Three Phase for 277/480V Grid	
Minimum String Length (Power Optimizers)	S440, S500	8	16	18
Maximum String Length (Power Optimizers)		25	50	
Maximum Nominal Power per String ⁽⁴⁾		5700	11250 ⁽⁵⁾	12750 ⁽⁶⁾
Parallel Strings of Different Lengths or Orientations		Yes		

(4) If the inverters rated AC power ≤ maximum nominal power per string, then the maximum power per string will be able to reach up to the inverters maximum input DC power Refer to: <https://www.solaredge.com/sites/default/files/se-power-optimizer-single-string-design-application-note.pdf>
 (5) For the 230/400V grid: it is allowed to install up to 13,500W per string when the maximum power difference between each string is 2,000W
 (6) For the 277/480V grid: it is allowed to install up to 15,000W per string when the maximum power difference between each string is 2,000W
 (7) It is not allowed to mix S-series and P-series Power Optimizers in new installations



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CE RoHS



OPTIMIZER DATA SHEET

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 608.558.3842
 jdhirsbrunner@solaredge.com

SIGNED: _____ DATE: _____

8.23.22

DRAWN BY: BPM

APN: SUXV0245975

LOT: 0.45 Acres

DWELLING: ---

D-3

General Duty Non-Fusible Safety Switch

DG222URB

UPC:782113144238

Dimensions:

- **Height:** 7.5 IN
- **Length:** 6.41 IN
- **Width:** 8.4 IN

Weight:9 LB

Notes:WARNING! Switch is not approved for service entrance unless a neutral kit is installed.

Warranties:

- Eaton Selling Policy 25-000, one (1) year from the date of installation of the Product or eighteen (18) months from the date of shipment of the Product, whichever occurs first.

Specifications:

- **Type:** General Duty/Non-Fusible
- **Amperage Rating:** 60A
- **Enclosure:** NEMA 3R
- **Enclosure Material:** Painted galvanized steel
- **Fuse Configuration:** Non-fusible
- **Number Of Poles:** Two-pole
- **Number Of Wires:** Two-wire
- **Product Category:** General Duty Safety Switch
- **Voltage Rating:** 240V

Supporting documents:

- [Eatons Volume 2-Commercial Distribution](#)
- [Drawing Dataset](#)
- [Eaton Specification Sheet - DG222URB](#)

Certifications:

- UL Listed

Product compliance: No Data



Eaton general duty cartridge fuse safety switch

DG222NRB

UPC:782113144221

Dimensions:

- **Height:** 14.37 IN
- **Length:** 7.35 IN
- **Width:** 8.4 IN

Weight:10 LB

Notes:Maximum hp ratings apply only when dual element fuses are used. 3-Phase hp rating shown is a grounded B phase rating, UL listed.

Warranties:

- Eaton Selling Policy 25-000, one (1) year from the date of installation of the Product or eighteen (18) months from the date of shipment of the Product, whichever occurs first.

Specifications:

- **Type:** General duty, cartridge fused
- **Amperage Rating:** 60A
- **Enclosure:** NEMA 3R
- **Enclosure Material:** Painted galvanized steel
- **Fuse Class Provision:** Class H fuses
- **Fuse Configuration:** Fusible with neutral
- **Number Of Poles:** Two-pole
- **Number Of Wires:** Three-wire
- **Product Category:** General duty safety switch
- **Voltage Rating:** 240V

Supporting documents:

- [Eatons Volume 2-Commercial Distribution](#)
- [Eaton Specification Sheet - DG222NRB](#)

Certifications:

- UL Listed

Product compliance: No Data



AC DISCONNECT DATA SHEET

THE MELISSA GOEDDE RESIDENCE
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APN: SUXV0245975

LOT: 0.45 Acres

DWELLING: ---

D-4



GO BIG ON TURF

SunTurf™ Ground Mount System



SunModo offers the next generation Ground Mount System with SunTurf™. The streamlined design combines the strength of Helio Rails with steel pipes to create the perfect ground mount solution.

SunTurf™ is ideal for solar installers looking for a durable and cost-effective system that can accommodate a wide variety of soil conditions.

The SunTurf™ Ground Mount Advantage

- ✓ Easily scalable from kilowatts to multimewatts PV Arrays.
- ✓ Foundation design solution for every soil condition.
- ✓ Online configuration tool available to streamline design process.
- ✓ Components optimized for strength, durability and fast installation.
- ✓ UL 2703 Listed by Intertek.

Key Features of SunTurf™ Ground Mount System

SunTurf™ Ground Mount System easily integrate Helio Rails with Schedule 40 steel pipes. No drilling is required to attach the aluminum rails to the horizontal pipe. Optional bracing can provide additional structural rigidity for sites with high snow or wind load conditions. Anchor any ground mount installation using one of our fountain types including helical piles, precast ballasts and concrete piers.



Augers and Ground Screws

Our augers are suitable for use in weak to moderate strength soils and areas with a high-water table. Our ground screws are ideal for use in hard packed earth or soils with large amounts of cobble and gravel.



Technical Data

Application	Ground Mount
Material	High grade aluminum, galvanized steel and 304 stainless steel hardware
Module Orientation	Portrait and Landscape
Tilt Angle	Range between 10 to 50 degrees
Foundation Types	Post in concrete, helical earth auger, ground screw anchor and ballast
Structural Integrity	Stamped engineering letters available
Certificate	UL2703 listed by ETL
Warranty	25 years

SunModo, Corp. Vancouver, WA., USA • www.sunmodo.com • 360.844.0048 • info@sunmodo.com



GROUND MOUNT SYSTEM DATA SHEET

THE MELISSA GOEDDE RESIDENCE
W232N6274 WAUKESHA AVENUE,
SUSSEX, WI 53089
(414) 534-5536

SOLENERGY
PHIL SUTTER
LIC#: DC-04210045 EXP: 2023
7182 HWY 14, #201
MIDDLETON, WI 53562
760.341.1413
jdhrsbrunner@solenergysolar.com

SIGNED: _____ DATE: _____

8.23.22

DRAWN BY: BPM

APN: SUXV0245975

LOT: 0.45 Acres

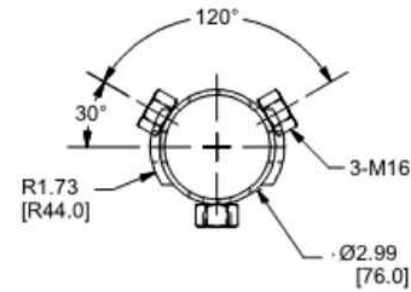
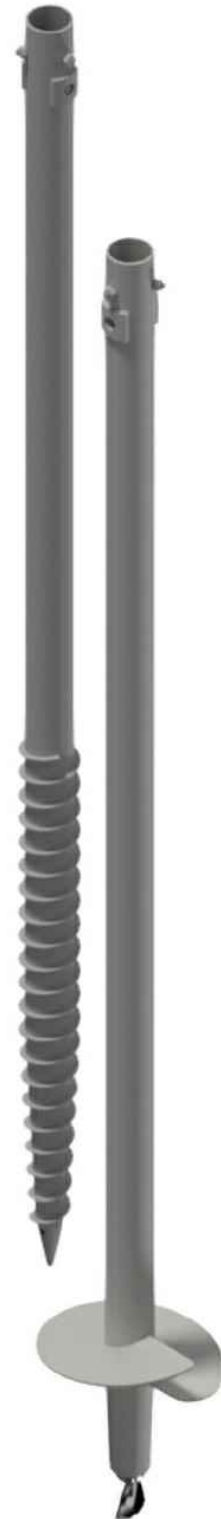
DWELLING: ---

D-5

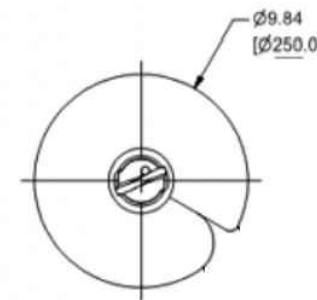
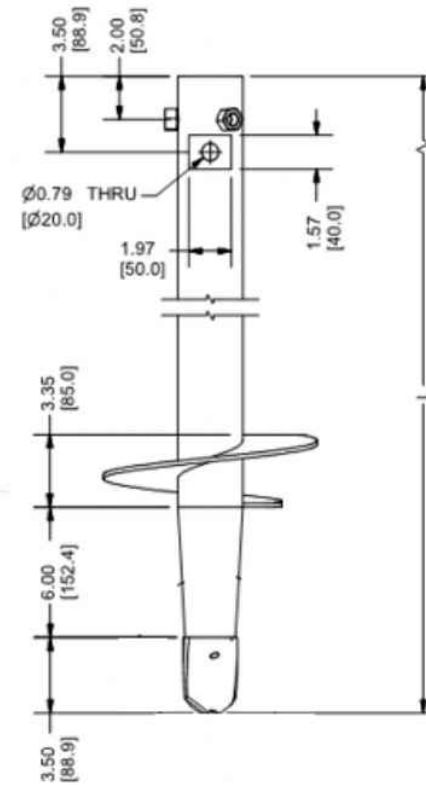


BASIC INFORMATION	
Part Number	A21146-XXX
Description	10" Helix Blade Auger
Lengths (-063 -080)	63 inches 80 inches
Auger Outside Diameter	76mm
Attachment Hardware	3X M16 Set Screws
Material	#45 Structural Carbon Steel
Finish	Hot Dip Galvanized
Approximate Weight	8,2 kg 10,5 kg

BASIC INFORMATION	
Part Number	A21147-XXX
Description	Screw Anchor
Lengths (-063 -080)	63 inches 80 inches
Auger Outside Diameter	76mm
Attachment Hardware	3X M16 Set Screws
Material	#45 Structural Carbon Steel
Finish	Hot Dip Galvanized
Approximate Weight	8,2 kg 10,5 kg

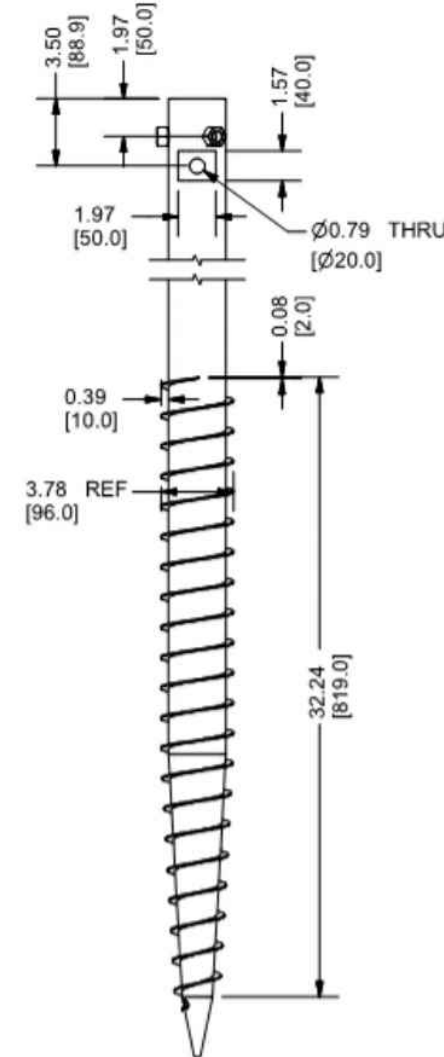


TYPICAL DETAIL



A21146-XXX

SunModo Corp | 14800 NE 65th Street | Vancouver, WA 98682 | 360-844-0048
Document Number D10162-V001 | ©2018 – SunModo Corp.



A21147-XXX



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jdhrsbrunner@solenergysolar.com

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LOT: 0.45 Acres
DWELLING: ---

D-6

Melissa Goedde
55E0FB
Ground Mount - SunTurf System



Project Details			
Project Name	Melissa Goedde	Zip Code:	53089
ASCE	7-16	City, State	Sussex, WI
Total Waits	8 kW	Date	08/22/22
Total Modules	21		
Module Model	Hanwha Q CELLS, Q.PEAK DUO-G10+ 365		
Module Dimensions	Height: 1,716.8 mm, Width: 1,045.0 mm, Depth: 32.0 mm (67.59" x 41.14" x 1.26")		

Load Assumptions		Structure & Foundation	
Wind Speed	100 mph	Span Selection	Automatic: 120"
Wind Exposure	B	Front Edge Height	24"
Ground Snow Load	30 psf	Foundation Type	Ground Screw
		Length of Screw	63"
		Tilt	30°

Sub Array #1 Details			
Orientation	Landscape	Rail Type	SMR300 Rail, 174"
Layout	3 rows by 7 cols	N/S Span (in)	85
Front Posts	5	E/W Max Span (in)	120
Back Posts	5	Area	473" (EW) x 123" (NS)

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1 of 7

Bill of Materials		
Part	Spares	Total Qty
K10423-063 Ground Screw, 63"		10
A21165-060 HSS 2.375" OD Front Pipe		5
A21165-120 HSS 2.375" OD Rear Pipe		5
A21168-112 2.875" OD E/W Pipe Beam, 112"		10
A50164-066 HSS E/W Tube Brace		2
A50164-092 HSS N/S Tube Brace		5
A20444-174-ML SMR300 Rail, 174"		14
K10343-005 2.5" Pipe U-Clamp Kit		28
K10341-002 2.5" Pipe T-Cap Kit		10
K10219-001 2" Pipe Clamp Kit		12
K10222-001 2.5" Pipe Clamp Kit		2
K10342-001 2.5" Pipe Splice Kit		8
K10417-003 Mid Clamp, SMR Pop-on		28
K10418-003 End Clamp, SMR Pop-On		28
K10469-001 SMR Grounding Lug		1
A20445-001 Rail End Cap, SMR300		28

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2 of 7



GROUND MOUNT SYSTEM DATA SHEET

THE MELISSA GOEDDE RESIDENCE
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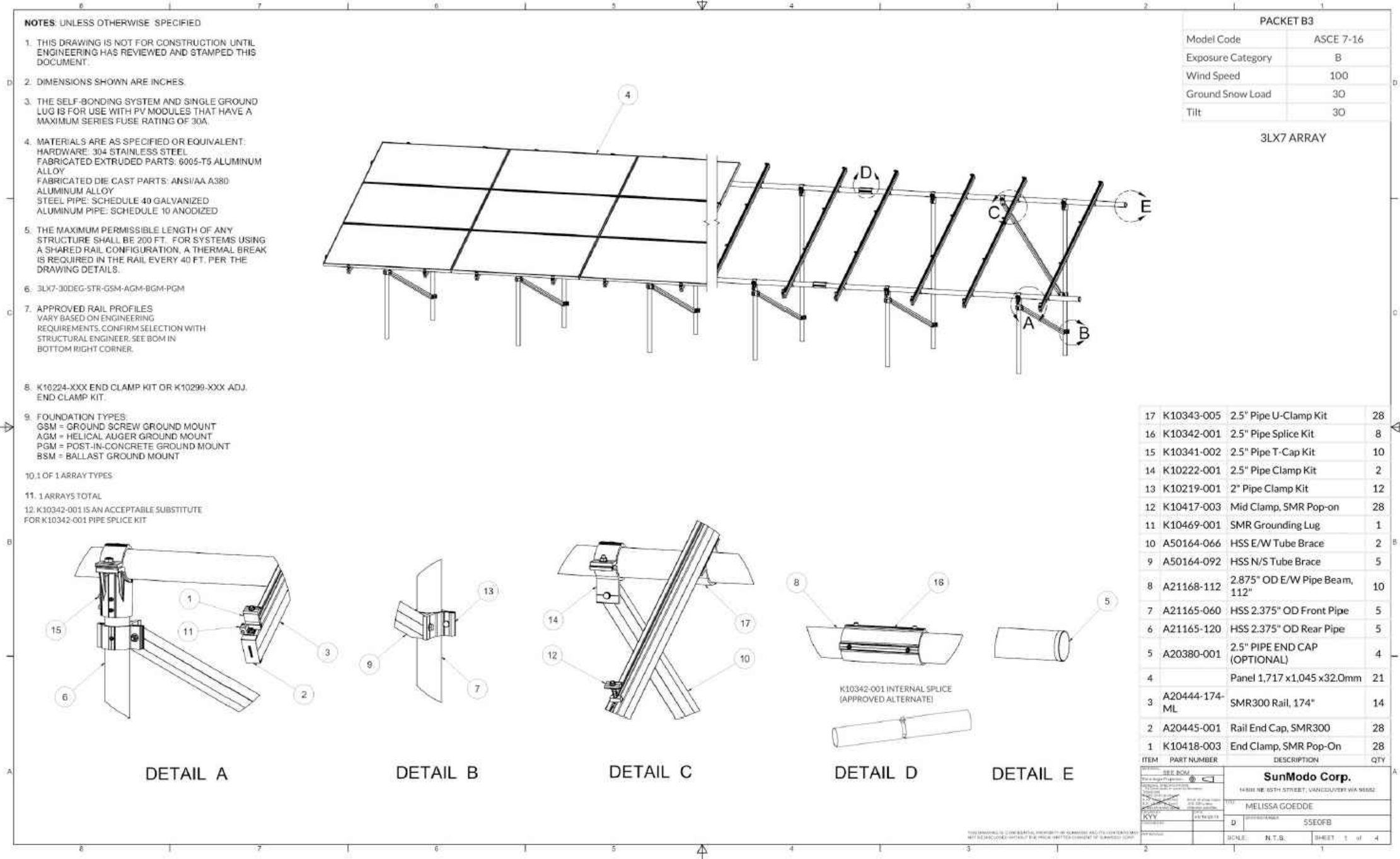
SOLENERGY
PHIL SUTTER
LIC#: DC-04210045 EXP: 2023
7182 HWY 14, #201
MIDDLETON, WI 53562
760.341.1413
jdhirsbrunner@solenenergysolar.com
SIGNED: _____ DATE: _____

8.23.22
DRAWN BY: BPM
APN: SUXV0245975
LOT: 0.45 Acres
DWELLING: ---

D-7

Sub Array #1 Layout

3 of 7

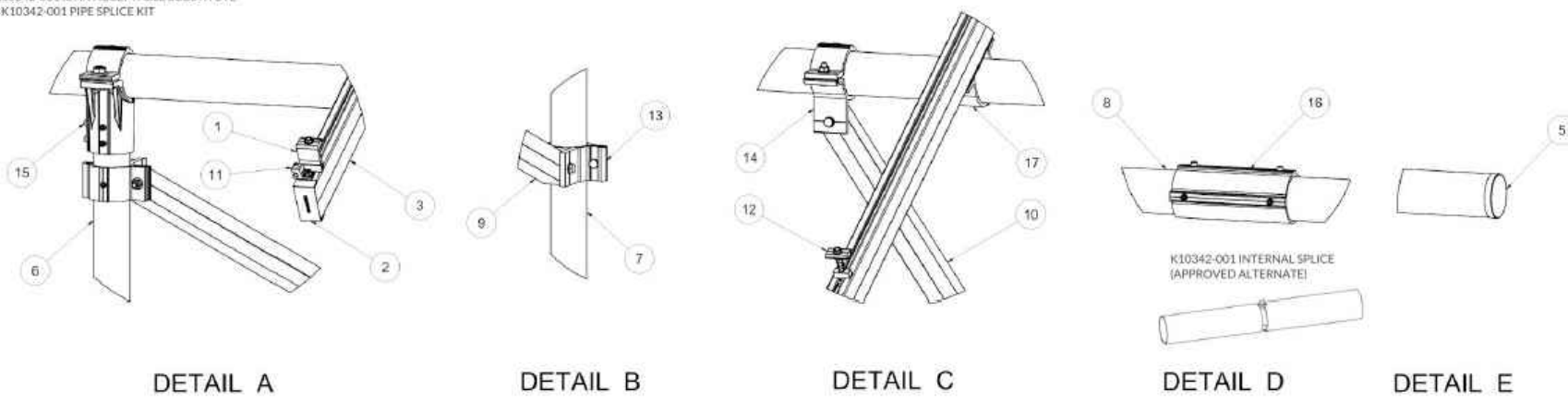


- NOTES: UNLESS OTHERWISE SPECIFIED**
- THIS DRAWING IS NOT FOR CONSTRUCTION UNTIL ENGINEERING HAS REVIEWED AND STAMPED THIS DOCUMENT.
 - DIMENSIONS SHOWN ARE INCHES.
 - THE SELF-BONDING SYSTEM AND SINGLE GROUND LUG IS FOR USE WITH PV MODULES THAT HAVE A MAXIMUM SERIES FUSE RATING OF 30A.
 - MATERIALS ARE AS SPECIFIED OR EQUIVALENT:
HARDWARE: 304 STAINLESS STEEL
FABRICATED EXTRUDED PARTS: 6005-T5 ALUMINUM ALLOY
FABRICATED DIE CAST PARTS: ANSI/AA A380 ALUMINUM ALLOY
STEEL PIPE: SCHEDULE 40 GALVANIZED
ALUMINUM PIPE: SCHEDULE 10 ANODIZED
 - THE MAXIMUM PERMISSIBLE LENGTH OF ANY STRUCTURE SHALL BE 200 FT. FOR SYSTEMS USING A SHARED RAIL CONFIGURATION, A THERMAL BREAK IS REQUIRED IN THE RAIL EVERY 40 FT. PER THE DRAWING DETAILS.
 - 3LX7-30DEG-STR-GSM-AGM-BGM-PGM
 - APPROVED RAIL PROFILES VARY BASED ON ENGINEERING REQUIREMENTS. CONFIRM SELECTION WITH STRUCTURAL ENGINEER. SEE BOM IN BOTTOM RIGHT CORNER.
 - K10224-XXX END CLAMP KIT OR K10299-XXX ADJ. END CLAMP KIT.
 - FOUNDATION TYPES:
GSM = GROUND SCREW GROUND MOUNT
AGM = HELICAL AUGER GROUND MOUNT
PGM = POST-IN-CONCRETE GROUND MOUNT
BSM = BALLAST GROUND MOUNT
 - OF 1 ARRAY TYPES
 - 1 ARRAYS TOTAL
 - K10342-001 IS AN ACCEPTABLE SUBSTITUTE FOR K10342-001 PIPE SPLICE KIT

PACKET B3	
Model Code	ASCE 7-16
Exposure Category	B
Wind Speed	100
Ground Snow Load	30
Tilt	30

3LX7 ARRAY

17	K10343-005	2.5" Pipe U-Clamp Kit	28
16	K10342-001	2.5" Pipe Splice Kit	8
15	K10341-002	2.5" Pipe T-Cap Kit	10
14	K10222-001	2.5" Pipe Clamp Kit	2
13	K10219-001	2" Pipe Clamp Kit	12
12	K10417-003	Mid Clamp, SMR Pop-on	28
11	K10469-001	SMR Grounding Lug	1
10	A50164-066	HSS E/W Tube Brace	2
9	A50164-092	HSS N/S Tube Brace	5
8	A21168-112	2.875" OD E/W Pipe Beam, 112"	10
7	A21165-060	HSS 2.375" OD Front Pipe	5
6	A21165-120	HSS 2.375" OD Rear Pipe	5
5	A20380-001	2.5" PIPE END CAP (OPTIONAL)	4
4		Panel 1,717 x1,045 x32.0mm	21
3	A20444-174-ML	SMR300 Rail, 174"	14
2	A20445-001	Rail End Cap, SMR300	28
1	K10418-003	End Clamp, SMR Pop-On	28



ITEM	PART NUMBER	DESCRIPTION	QTY
SEE BOM			
SunModo Corp.			
14300 W. 85TH STREET, VANEGUNTER, WI 53095			
DATE	BY	APPROVED	
08/22/22	MELISSA GOEDDE		
REV	DESCRIPTION	DATE	
1	ISSUED	08/22/22	
SCALE: N.T.S.		SHEET 1 OF 4	

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GROUND MOUNT SYSTEM DATA SHEET

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W232N6274 WAUKESHA AVENUE,
SUSSEX, WI 53089
(414) 534-5536

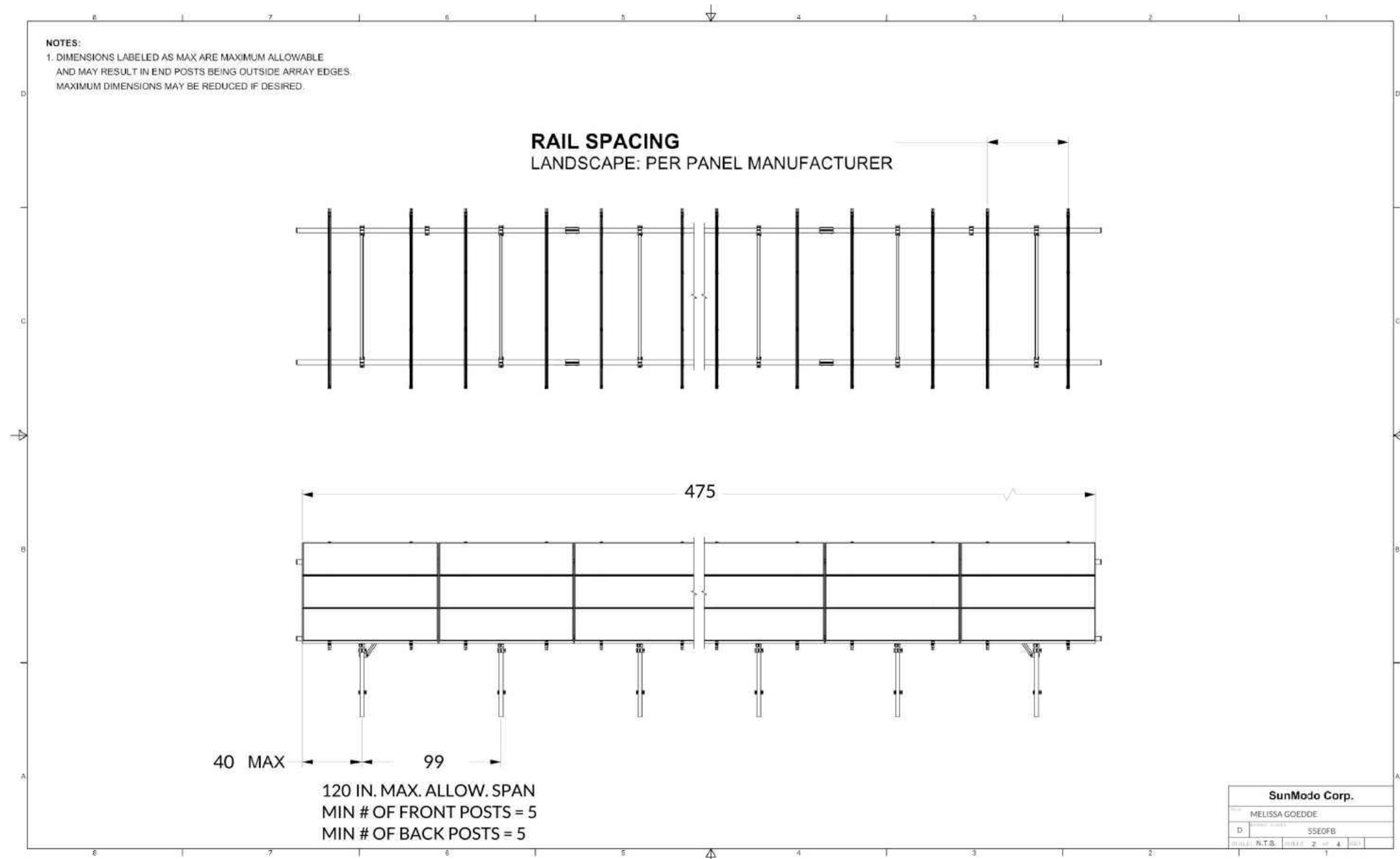
SOLENERGY
PHIL SUTTER
LIC#: DC-04210045 EXP: 2023
7182 HWY 14, #201
MIDDLETON, WI 53562
760.341.1413
jhirsbrunner@solenergysolar.com

SIGNED: _____ DATE: _____

8.23.22
DRAWN BY: BPM
APN: SUXV0245975
LOT: 0.45 Acres
DWELLING: ---

D-8

Sub Array #1 Spans



4 of 7

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GROUND MOUNT SYSTEM DATA SHEET

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 W232N6274 WAUKESHA AVENUE,
 SUSSEX, WI 53089
 (414) 534-5536

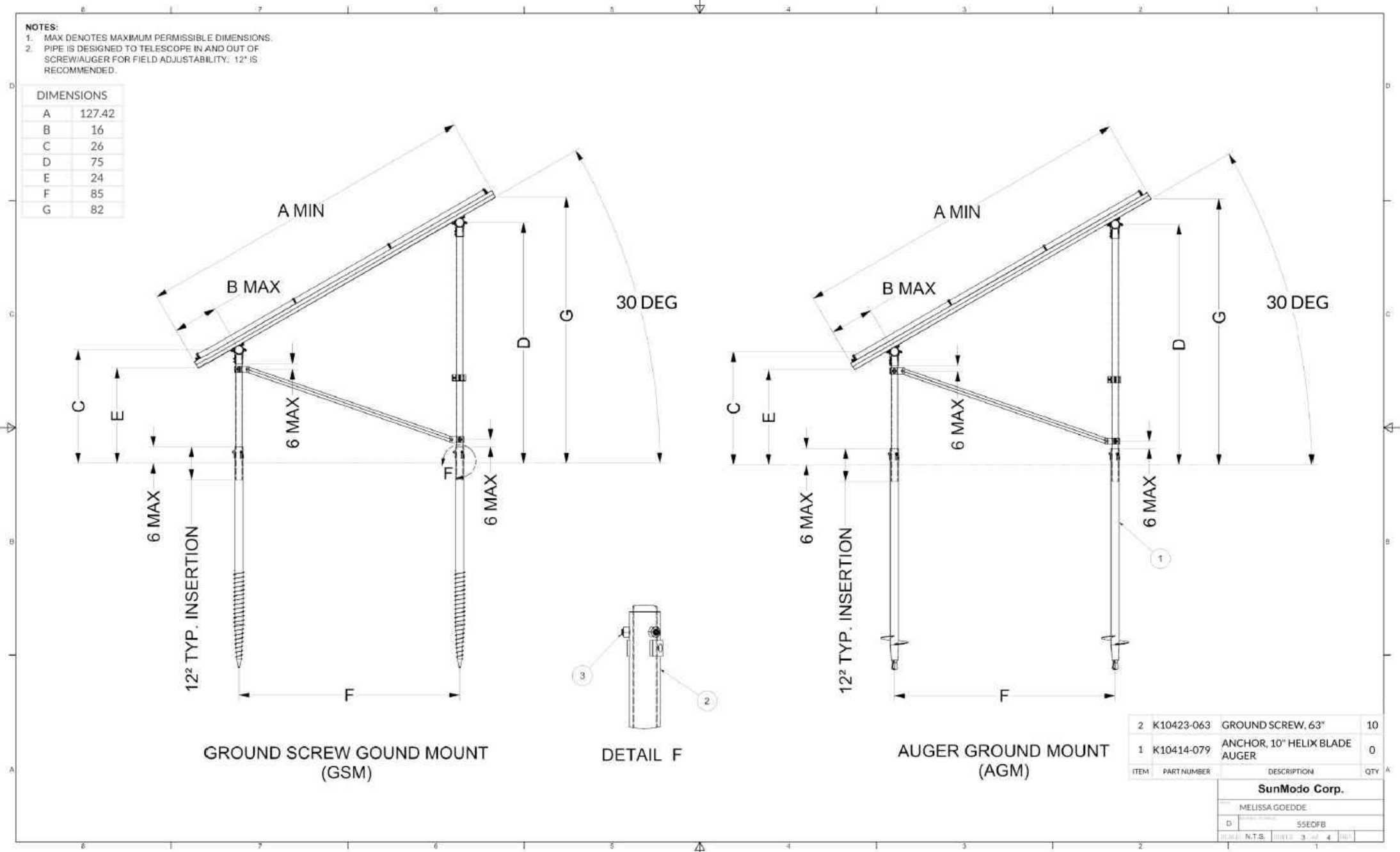
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 7182 HWY 14, #201
 MIDDLETON, WI 53562
 760.341.1413
 jdhirsbrunner@solenergysolar.com

SIGNED: _____ DATE: _____

8.23.22
 DRAWN BY: BPM
 APN: SUXV0245975
 LOT: 0.45 Acres
 DWELLING: ---

D-9

Sub Array #1 Foundation Part 1



5 of 7

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GROUND MOUNT SYSTEM DATA SHEET

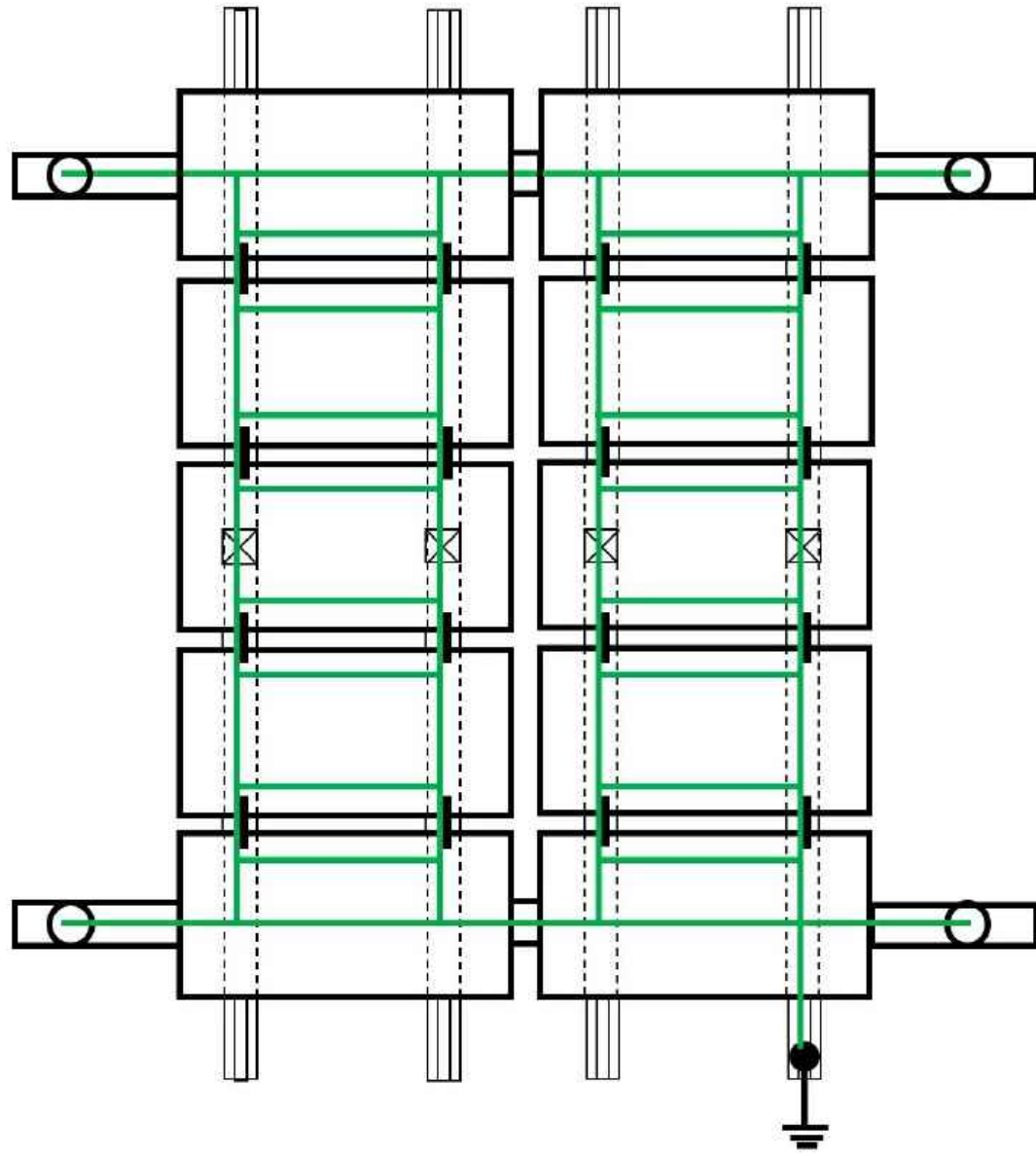
THE MELISSA GOEDDE RESIDENCE
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 jdhirsbrunner@solenergysolar.com

SIGNED: _____ DATE: _____

8.23.22
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 APN: SUXV0245975
 LOT: 0.45 Acres
 DWELLING: ---

D-10



- Pipe Connection
 - Mid Clamp
 - Rail
 - Rail Splice
 - Ground Lug
- Pipe
 - Fault Current Path
 - Solar Panel

Note: All SunTurf metal structural components (Horizontal and Vertical Pipe, Pipe Splices, Post Caps, Pipe Clamps, Braces, Rail and Rail Splices) are electrically bonded together by design during the assembly of the racking.

Disclaimer: The information from this configurator is not to be used for construction unless reviewed and approved by a design professional recognized by the project's authority having jurisdiction (AHJ)

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GROUND MOUNT SYSTEM DATA SHEET

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W232N6274 WAUKESHA AVENUE,
SUSSEX, WI 53089
(414) 534-5536

SOLENERGY
PHIL SUTTER
LIC#: DC-04210045 EXP: 2023
7182 HWY 14, #201
MIDDLETON, WI 53562
760.341.1413
jhirsbrunner@solenergysolar.com
SIGNED: _____ DATE: _____

8.23.22
DRAWN BY: BPM
APN: SUXV0245975
LOT: 0.45 Acres
DWELLING: ---

D-11



Catalog No. UHTRS202BMEP

Description: RESIDENTIAL 200 AMP OH

UPC No 784567721751

Home > Single Socket Metering > Single Socket Metering

METER SKT - (1) 200A, 600V, 1P3W N3R, G90 4-TERM, SMALL HUB OPNG, HORN BYP, TRIPLEX, GRD TOP/BOTTOM FEED

Descriptors

Category: Single Socket Metering

Specifications

Phase	1
Voltage	600
Amps	200
Hub Type	Small Hub Opening
# of Terminals	4
Lever Bypass	No
Horned Bypass	Yes
Socket Type	Ringless
Enclosure Type	N3R
Metal Type	G90 Steel
Overhead/ Underground Line Feed	Top/Bottom
Wire Range (Cu/Al)	#8-250MCM
Triplex Ground	Yes



PV METER SOCKET DATA SHEET

THE MELISSA GOEDDE RESIDENCE
W232N6274 WAUKESHA AVENUE,
SUSSEX, WI 53089
(414) 534-5536

SOLENERGY
PHIL SUTTER
LIC#: DC-04210045 EXP: 2023
7182 HWY 14, #201
MIDDLETON, WI 53562
760.341.1413
jdhrsbrunner@solenenergysolar.com

SIGNED: _____ DATE: _____

8.23.22

DRAWN BY: BPM

APN: SUXV0245975

LOT: 0.45 Acres

DWELLING: ---

D-12

JUNCTION BOX & CONDUIT RACEWAYS

NEC 690.31(E)(3) – CONDUIT / ALL JUNCTION BOXES

WARNING:
PHOTOVOLTAIC POWER SOURCE

NEC 690.35(F) – UNDERGROUND SYSTEM JUNCTION BOXES

WARNING:
ELECTRIC SHOCK HAZARD
THE DC CONDUCTORS OF THIS
PHOTOVOLTAIC SYSTEM ARE
UNDERGROUND AND MAY BE
ENERGIZED.

DC DISCONNECTS

NEC 690.14(4) GROUNDED SYSTEMS

WARNING:
ELECTRIC SHOCK HAZARD
DO NOT TOUCH TERMINALS.
TERMINALS ON BOTH LINE AND
LOAD SIDES MAY BE
ENERGIZED IN THE OPEN
POSITION.

NEC 690.35(F) UNGROUNDED SYSTEMS

WARNING:
ELECTRIC SHOCK HAZARD
THE DC CONDUCTORS OF THIS
PHOTOVOLTAIC SYSTEM ARE
UNDERGROUND AND MAY BE
ENERGIZED.

NEC 690.14(C)(2)

**PHOTOVOLTAIC
DC DISCONNECT**

NEC 690.53

"GRID-TIED PHOTOVOLTAIC POWER SOURCE"
OPERATING CURRENT: 25A
OPERATING VOLTAGE: 380V
MAXIMUM SYSTEM VOLTAGE: 480V
MAXIMUM SYSTEM CURRENT: 31.25A
MAXIMUM INVERTER OUTPUT: 6,000W, 31.25A, 240VAC

INVERTER

NEC 690.5(C) – GROUNDED SYSTEMS

WARNING:
ELECTRIC SHOCK HAZARD
IF A GROUND FAULT IS
INDICATED, NORMALLY
GROUNDED CONDUCTORS MAY
BE UNDERGROUND AND
ENERGIZED

NEC 690.35(F) – UNGROUNDED SYSTEMS

WARNING:
ELECTRIC SHOCK HAZARD
DC CONDUCTORS OF THIS
PHOTOVOLTAIC SYSTEM ARE
UNDERGROUND AND MAY BE
ENERGIZED

PRODUCTION METER

ONLY AT METER LOCATION

**PHOTOVOLTAIC
SYSTEM METER**

AC DISCONNECTS

NEC 690.14(C)(2)

**PHOTOVOLTAIC
AC DISCONNECT**

NEC 690.54

NOMINAL AC VOLTAGE 240V
RATED AC OUTPUT CURRENT 25A

NEC 705.12(D)(4) – ON A LINE SIDE TAP

WARNING: DUAL POWER SOURCE
SECOND SOURCE IS PV SYSTEM

PER CODE NEC 690.56(C)

**PHOTOVOLTAIC SYSTEM
EQUIPPED WITH RAPID
SHUTDOWN**

MAIN SERVICE PANEL

NEC 705.12(D)(7) – NEAR PV BREAKER

WARNING:
INVERTER OUTPUT CONNECTION
DO NOT RELOCATE THIS
OVERCURRENT PROTECTION
DEVICE

NEC 705.12(D)(4), 690.56(B) – ON PANEL COVER

WARNING: DUAL POWER SOURCE
POWER IS BEING SUPPLIED TO
THIS PANEL FROM THE UTILITY
AND A SOLAR PV SYSTEM.
THE SOLAR PV DISCONNECT IS
LOCATED:

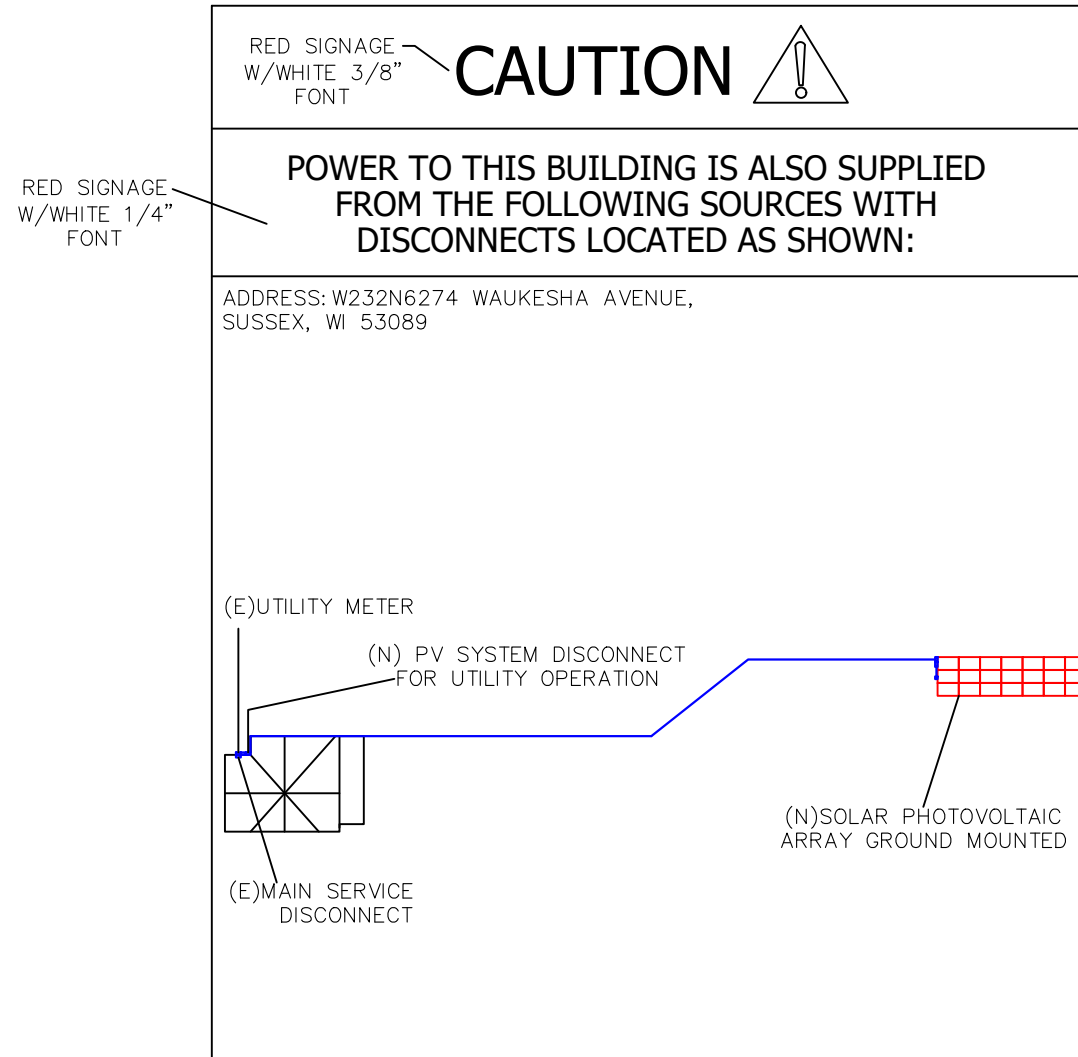
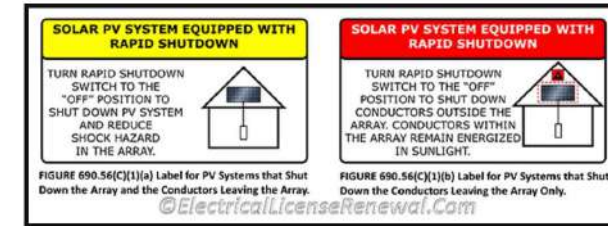
NEC 690.14(C)(2) – NEAR PV BREAKER

**PHOTOVOLTAIC
AC DISCONNECT**

NEC 690.54 – ON PANEL COVER

NOMINAL AC VOLTAGE 240V
RATED AC OUTPUT CURRENT 25A

690.56(C) Buildings with Rapid Shutdown.



WARNING PLACARDS

THE MELISSA GOEDDE RESIDENCE
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jdhirbrunner@solenergysolar.com

SIGNED: _____ DATE: _____

8.23.22
DRAWN BY: BPM
APN: SUXV0245975
LOT: 0.45 Acres
DWELLING: ---

L-1



Project Name _____
Tax Key # _____

**VILLAGE OF SUSSEX
PLAN OF OPERATION
PROCEDURE LIST**

Pre-application conference must be arranged with Gabe Gilbertson, Community Development Director. Please contact us at 262-246-5215 prior to submitting your application.

Complete the following: Plan of Operation, Service Reimbursement Agreement, Emergency Contact and Wastewater Discharge Permit.

Submit the completed forms and the required fee by the last business day of the month for consideration for the next Plan Commission Agenda. Please note that submitting by the deadline does not guarantee placement on the Plan Commission Agenda. Completed forms can be emailed to ggilbertson@villagesussex.org.

The following fees are required at the time of submittal:

_____ Plan of Operation fee	\$175.00
<input checked="" type="checkbox"/> Conditional Use fee (if necessary)	\$210.00
_____ Pre Occupancy inspection fee	\$100.00

Please make check payable to: Village of Sussex (fees are non refundable)

Notes: _____

Additional fees are required for building permits, review fees, or other items depending upon the nature of your request.

Contact Name for meetings: Jake Hirsbrunner Phone # 608-558-3842

E-mail: Approval@solenergysolar.com

For office use only:

Met with staff on: _____
Paid fees on: _____
To be on the Plan Commission Agenda for: _____
Original forms to the following:
Plan of Operation to Jeremy _____
Service reimbursement _____
Emergency Contact to Sheriff Dept _____
Wastewater Permit to WWTP _____
Any outstanding fees owed on the property? _____



PLAN OF OPERATION

To be used for a business with changes or new business in an existing building.

Is this request to be considered for a Conditional Use? Yes If yes, is this a new CU? Yes

(Conditional Use Permits require a Public Hearing)

OR an amendment to a CU? _____

Tax Key # _____

Zoning: _____

Address of Tenant Space: _____

1. Name of Business:

N/A

Business

Address City, State, Zip Phone #

Fax # Email address

2. Business owner contact information:

N/A

Contact

Address City, State, Zip Phone #

Fax # Email address

3. Building/Land owner contact information:

Melissa Goedde

Contact

W232N6274 Waukesha Avenue,

Sussex, WI 53089

(414) 534-5536

Address City, State, Zip Phone #

Mschwartz414@gmail.com

Fax # Email address

4. Number of Employees/Shifts: N/a

Employees

Shifts

5. Days of Operation:

Put an X in box that applies:

Hours

Open for business

Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday

6. Is this an extension of an existing operation? _____
7. On a separate sheet of paper explain your business use and/or the change to your business. Attach a list of all items to be sold, produced or stored on the premises.
8. Is a liquor license or any other special license to be obtained from the Village Board or State Licensing Agencies? _____ Do you need an Outdoor Establishment Permit? _____
 If yes, explain: _____
 If yes, please obtain and complete permit application.
9. If your proposed operation will utilize a liquor license, what types of entertainment are you proposing? _____
10. Do you feel there will be any problems such as odor, smoke or noise resulting from this operation? _____ If yes, explain: _____
11. Dimension of area to be occupied _____ Total square footage _____
 If applicable list square footage according to 1st floor _____ 2nd floor _____

Please provide a copy of the site plan showing parking and layout of the building and if a multi tenant building, label the space which will be occupied by your business.

12. Parking:
 Total Number of Parking Spaces _____ Number of spaces needed per code _____
 Number of spaces allocated for employee parking _____
 Dimensions of parking lot _____ Is parking lot paved? _____

13. Signage: What type of signage are you proposing for your business?

If applicable, complete a Sign Permit application and submit to the Building Inspection Dept. Please refer to Chapter 17.0800.

I have reviewed a copy of the Zoning Ordinance in the Village of Sussex and hereby agree to abide by the same, as well as any and all terms and conditions of any permit issued pursuant to this application.

I do swear to or affirm that all statements contained herein are true and correct to the best of our knowledge.

_____	_____
<small>Melissa Goedde</small>	<small>9-20-2022</small>
Name	Date
<small>Homeowner</small>	

Title or Position	

I am aware and approve of the business to be operating in the building owned by _____.

_____	_____
Name	Date

Title or Position	



N64W23760 Main Street
Sussex, Wisconsin 53089
Phone (262) 246-5200
FAX (262) 246-5222
Email: info@villagesussex.org
Website: www.villagesussex.org

**VILLAGE OF SUSSEX
PROFESSIONAL SERVICES REIMBURSEMENT NOTICE**

Pursuant to the Village of Sussex Ordinance No. 3.11, the Village of Sussex Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service and the fees incurred by the Village to the property owner incurring those fees even if the request is not approved. Also, be advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are the responsibility of the property owner even if the request is not approved. Imposition of any fees, costs or charges, however, is subjected to the property owner's appeal rights as described in said Village of Sussex Ordinances.

I, the undersigned, have been advised that, pursuant to said Village of Sussex Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village even if the request is not approved. In addition, I have been advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are my responsibility even if the request is not approved. By signing this document however, I am not waiving my appeal rights that are described in said Village of Sussex Ordinances.

PLEASE PRINT LEGIBLY

Name and Mailing Address of the Property Owner and /or Authorized Agent for Invoices:

Melissa Goedde - W232N6274 Waukesha Avenue, Sussex WI, 53089

Business Name: _____

Name of Owner and Address of the Property involved in the Request (if different from above):

Tax Key No. of the Property involved in the Request: **SUXV**_____

Melissa Goedde

2022-09-20

Signature of Property Owner and /or Authorized Agent

Date

Signature of Village Official Accepting Form

Date

A copy of this completed form shall be provided to the Village Clerk for billing purposes.



WASTEWATER DISCHARGE PERMIT APPLICATION

Business Name: N/A

Address: W232N6274 Waukesha Avenue, Sussex WI, 53089

Owner/Operator: _____

Standard Industrial Classification #: _____

How many people do you employ? _____

What are your businesses hours of work? _____

Who is responsible for water quality? (List job titles)

Time and Duration of Discharge: _____

Average and Peak Wastewater Flow Rates(Include any daily, monthly or seasonal variations):

Please describe the activities, facilities, and plant processes on the premises including all materials and types of materials which are or could be discharged:

Please list each product your business produces. (Include type, amount and rate of production):

What are the constituents and characteristics of your wastewater?

New construction: attach site plans, floor plans, mechanical and plumbing plans and details to show all sewers and appurtenances by size, location and elevation.

[Print Form](#)

[Clear Form](#)



Village of Sussex Fire Department
N63 W24335 Main Street
Sussex, Wisconsin 53089

Fire Station - *PHONE*
262-246-5197
Fire Station - *FAX*
262-246-5196

Waukesha County Sheriff – Sussex Office

Emergency Contact Form to be completed with Plan of Operation form.

Business Name: N/A
Business Address: W232N6274 Waukesha Avenue, Sussex WI, 53089
Business Phone #: (414) 534-5536
Business Email: Mschwartz414@gmail.com

Business Emergency Contacts

Name and Phone #: Melissa Goedde - (414) 534-5536
Name and Phone #: _____
Name and Phone #: _____

Building Owner Name: _____

Building Owner Email: _____

Building Owner Emergency Contacts

Name and Phone #: _____
Name and Phone #: _____

Knox Box (if applies) Have locks been changed and new key provided to Fire Department? Yes No

Proposed Plan

- Installation of a 21 panel array (3x7) in the northeast corner of the property lot.
- 6.00kW AC system
- Non reflective Panels
- No sound from the panels or the system

The goal of this project is to save the homeowner money by paying towards the value of their new solar generation system instead of the monopolizing utility company. The system will be built with complete symmetry and professionalism. The worst complaint solar owners get from their neighbors is how jealous the neighbor is of the DG system.



DISH WIRELESS, LLC. SITE ID:

MWMKE00246A

DISH WIRELESS, LLC. SITE ADDRESS:

**N64W24837 FREIHEIT CT.
SUSSEX, WI 53089**

SCOPE OF WORK
THIS IS NOT AN ALL INCLUSIVE LIST. CONTRACTOR SHALL UTILIZE SPECIFIED EQUIPMENT PART OR ENGINEER APPROVED EQUIVALENT. CONTRACTOR SHALL VERIFY ALL NEEDED EQUIPMENT TO PROVIDE A FUNCTIONAL SITE. THE PROJECT GENERALLY CONSISTS OF THE FOLLOWING: TOWER SCOPE OF WORK:
<ul style="list-style-type: none"> • INSTALL ANTENNA MOUNT(S) • INSTALL (3) PROPOSED PANEL ANTENNAS (1 PER SECTOR) • INSTALL (1) PROPOSED ANTENNA PLATFORM • INSTALL PROPOSED JUMPERS • INSTALL (6) PROPOSED RRUs (2 PER SECTOR) • INSTALL (1) PROPOSED OVER VOLTAGE PROTECTION DEVICE (OVP) • INSTALL (1) PROPOSED HYBRID CABLE (LENGTH: 125'-0")
GROUND SCOPE OF WORK:
<ul style="list-style-type: none"> • INSTALL (1) PROPOSED METAL PLATFORM • INSTALL (1) PROPOSED ICE BRIDGE • INSTALL (1) PROPOSED PPC CABINET • INSTALL (1) PROPOSED EQUIPMENT CABINET • INSTALL (1) PROPOSED POWER CONDUIT • INSTALL (1) PROPOSED TELCO CONDUIT • INSTALL (1) PROPOSED TELCO-FIBER BOX • INSTALL (1) PROPOSED GPS UNIT • INSTALL (1) PROPOSED SAFETY SWITCH (IF REQUIRED) • INSTALL (1) PROPOSED CIENA BOX (IF REQUIRED) • INSTALL (1) METER INSIDE EXISTING MULTI-METER BANK

SITE INFORMATION	PROJECT DIRECTORY
PROPERTY OWNER: TBD ADDRESS: N64W24837 FREIHEIT CT. SUSSEX, WI 53089	APPLICANT: DISH Wireless, LLC. 5701 SOUTH SANTA FE DRIVE LITTLETON, CO 80120
TOWER TYPE: MONOPOLE TOWER CO SITE ID: 784760 TOWER APP NUMBER: TBD	TOWER OWNER: US CELLULAR TOWERS
COUNTY: WAUKESHA LATITUDE (NAD 83): 43°08'02.85"N 43.134125° LONGITUDE (NAD 83): 88°14'29.03"W -88.241397°	SITE DESIGNER: FULLERTON ENGINEERING 1100 E WOODFIELD RD., STE 500 SCHAUMBURG, IL 60173 (847) 908-8400
ZONING JURISDICTION: SUSSEX ZONING DISTRICT: TBD PARCEL NUMBER: SUXV0231989006	SITE ACQUISITION: MEGHAN LANIGAN CONSTRUCTION MANAGER: JOEL BOJARSKI RF ENGINEER: INGA BRAUNEIS
OCCUPANCY GROUP: U CONSTRUCTION TYPE: II-B POWER COMPANY: WE ENERGIES TELEPHONE COMPANY: TBD	



5701 SOUTH SANTA FE DRIVE
LITTLETON, CO 80120

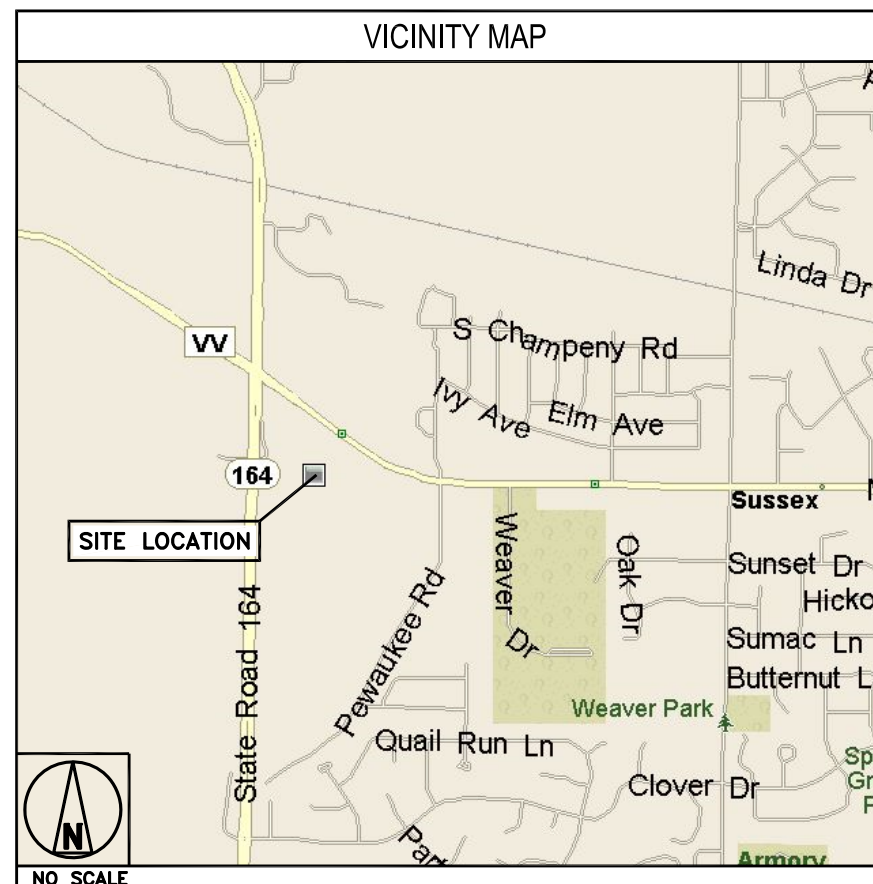


1100 E. WOODFIELD ROAD, SUITE 500
SCHAUMBURG, ILLINOIS 60173
TEL: 847-908-8400
COA# 3620-11
www.FullertonEngineering.com



DIRECTIONS

DIRECTIONS FROM GENERAL MITCHELL INTERNATIONAL AIRPORT:
TURN (RIGHT) ONTO I-94 [US-41].
AT EXIT 316, TAKE RAMP (LEFT) ONTO I-43 [I-894].
KEEP LEFT ONTO I-894 [ZOO FWY]. AT EXIT 1B, TAKE RAMP (LEFT) ONTO I-94.
AT EXIT 294, TURN RIGHT ONTO RAMP W-164 N/CR-J S/PEWAUKEE/WAUKESHA.
KEEP RIGHT TO STAY ON RAMP W-164 N/PEWAUKEE.
BEAR RIGHT (NORTH) ONTO W-164 [PEWAUKEE RD].
KEEP STRAIGHT ONTO W-164 [STATE ROAD 164]. TURN RIGHT (EAST) ONTO CR-VV [MAIN ST].
TURN RIGHT (SOUTH) ONTO LOCAL ROAD(S), ARRIVE AT SITE.



UNDERGROUND SERVICE ALERT - DIGGERS HOTLINE
UTILITY NOTIFICATION CENTER OF WISCONSIN
(800) 242-8511
WWW.DIGGERSHOTLINE.COM

CALL 3 WORKING DAYS UTILITY NOTIFICATION PRIOR TO CONSTRUCTION

GENERAL NOTES

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE. NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS PROPOSED.

11"x17" PLOT WILL BE HALF SCALE UNLESS OTHERWISE NOTED

CONTRACTOR SHALL VERIFY ALL PLANS, EXISTING DIMENSIONS, AND CONDITIONS ON THE JOB SITE, AND SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.

WISCONSIN CODE COMPLIANCE

ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES:

CODE TYPE	CODE
BUILDING	WISCONSIN CBC/2015 IBC W/ WI AMENDMENTS
MECHANICAL	WISCONSIN CBC/2015 IMC W/ WI AMENDMENTS
ELECTRICAL	WISCONSIN ELECTRICAL CODE/2017 NEC W/ WI AMENDMENTS

SHEET INDEX

SHEET NO.	SHEET TITLE
T-1	TITLE SHEET
A-1	OVERALL AND ENLARGED SITE PLAN
A-2	ELEVATION, ANTENNA LAYOUT AND SCHEDULE
A-3	EQUIPMENT PLATFORM AND H-FRAME DETAILS
A-4	EQUIPMENT DETAILS
A-5	EQUIPMENT DETAILS
A-6	EQUIPMENT DETAILS
E-1	ELECTRICAL/FIBER ROUTE PLAN AND NOTES
E-2	ELECTRICAL DETAILS
E-3	ELECTRICAL ONE-LINE & PANEL SCHEDULE
G-1	GROUNDING PLANS AND NOTES
G-2	GROUNDING DETAILS
G-3	GROUNDING DETAILS
RF-1	RF CABLE COLOR CODE
GN-1	LEGEND AND ABBREVIATIONS
GN-2	RF SIGNAGE
GN-3	GENERAL NOTES
GN-4	GENERAL NOTES
GN-5	GENERAL NOTES

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DRAWN BY: MS	CHECKED BY: DZ	APPROVED BY: DS
RFDS REV #:	4	

PERMITTING DOCUMENTS

SUBMITTALS

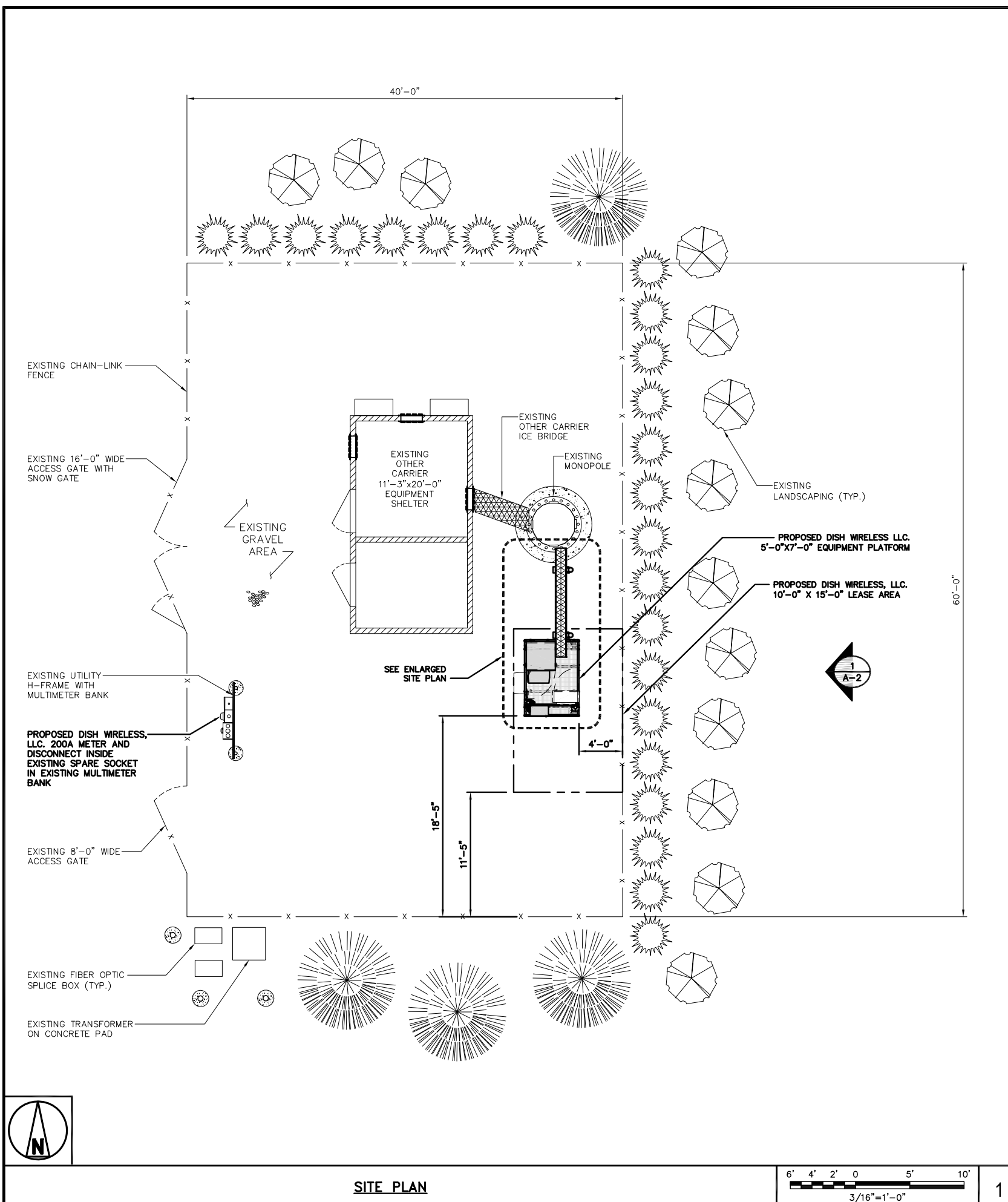
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A&E PROJECT NUMBER
2021.0030.0225

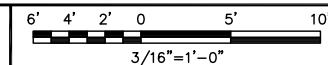
DISH WIRELESS, LLC.
PROJECT INFORMATION
MWMKE00246A
N64W24837 FREIHEIT CT.
SUSSEX, WI 53089

SHEET TITLE
TITLE SHEET

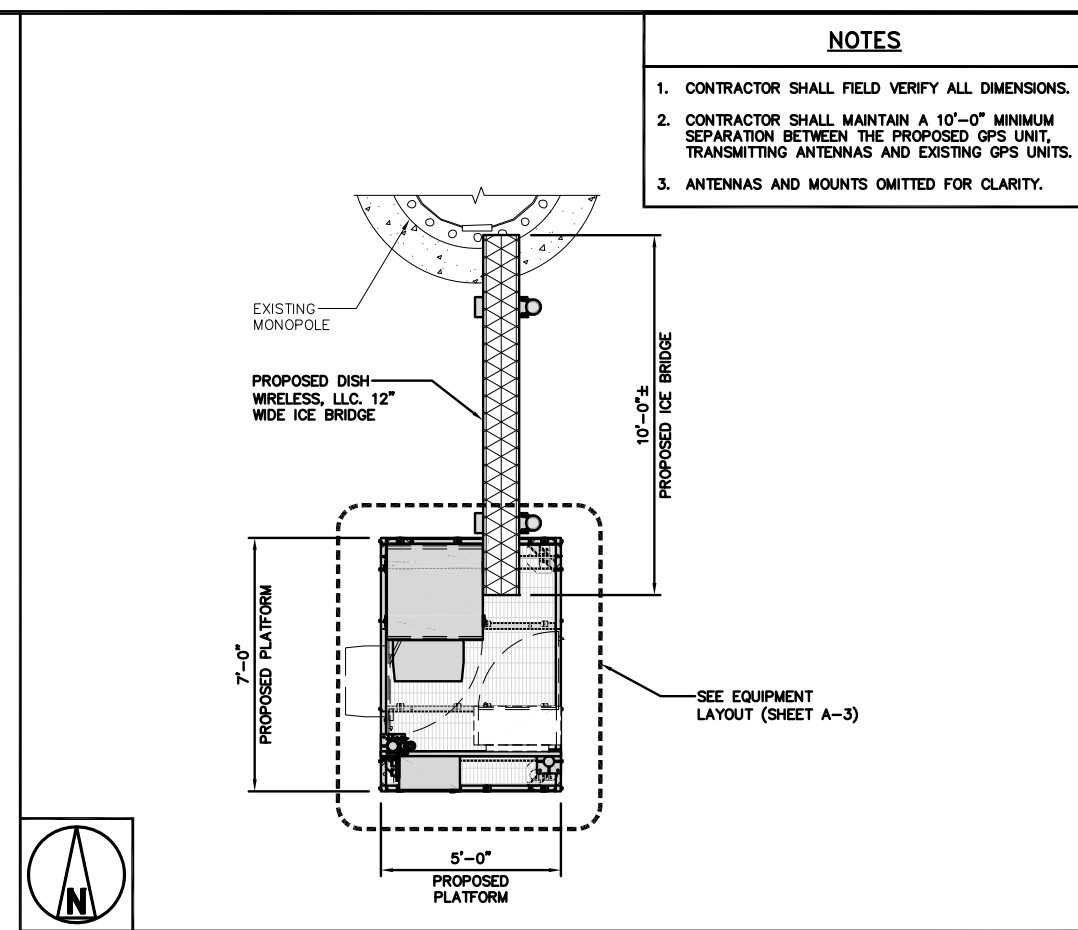
SHEET NUMBER
T-1



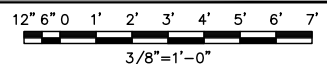
SITE PLAN



1



ENLARGED SITE PLAN



2

- NOTES**
1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
 2. CONTRACTOR SHALL MAINTAIN A 10'-0" MINIMUM SEPARATION BETWEEN THE PROPOSED GPS UNIT, TRANSMITTING ANTENNAS AND EXISTING GPS UNITS.
 3. ANTENNAS AND MOUNTS OMITTED FOR CLARITY.

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N64W24837 FREIHEIT CT.
SUSSEX, WI 53089

SHEET TITLE
OVERALL AND ENLARGED
SITE PLAN

SHEET NUMBER
A-1

NOT USED

NO SCALE

3

dish wireless.

5701 SOUTH SANTA FE DRIVE
LITTLETON, CO 80120

FULLERTON

1100 E. WOODFIELD ROAD, SUITE 500
SCHAUMBURG, ILLINOIS 60173
TEL: 847-908-8400
COA# 3620-11
www.FullertonEngineering.com

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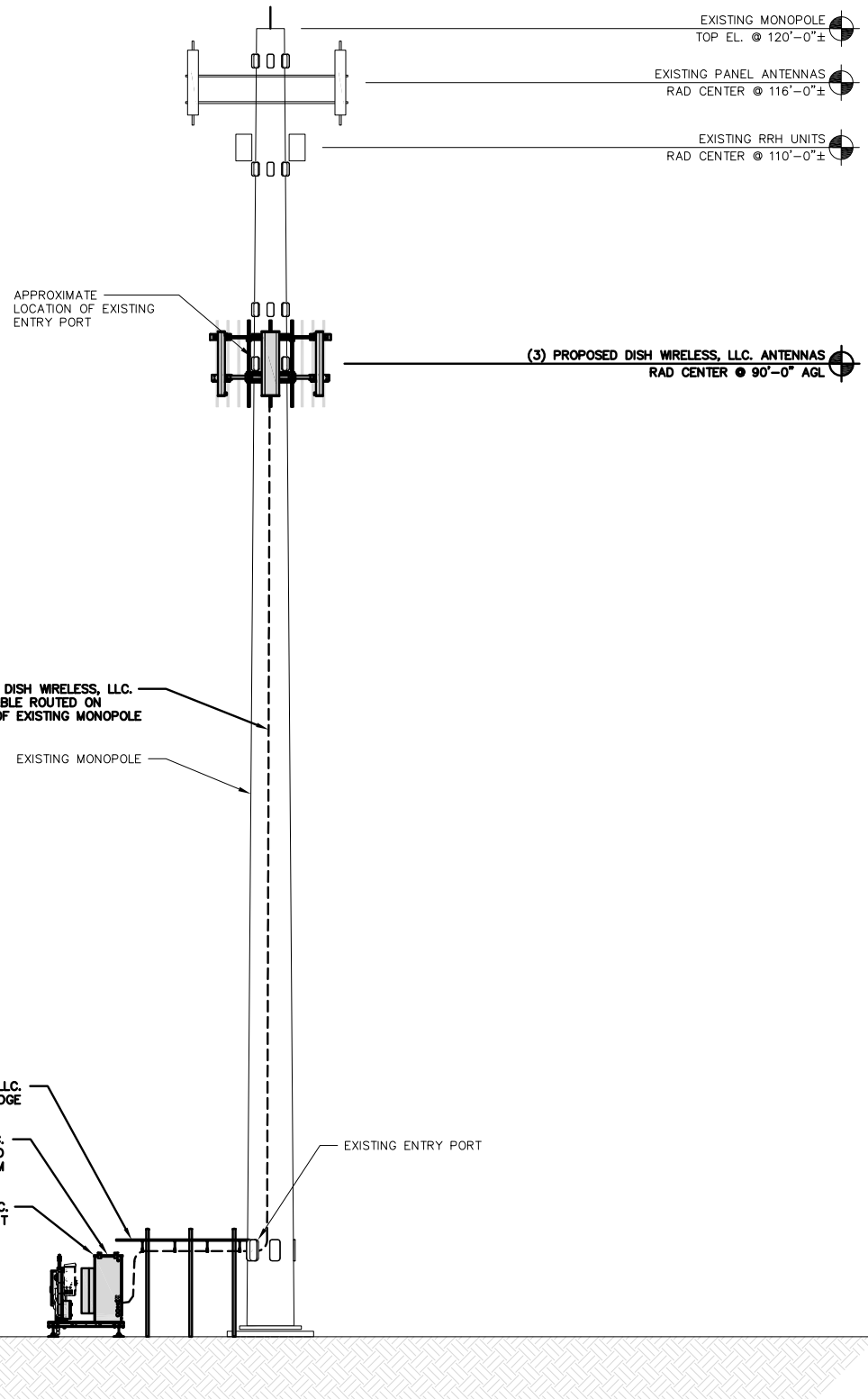
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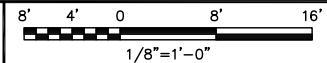
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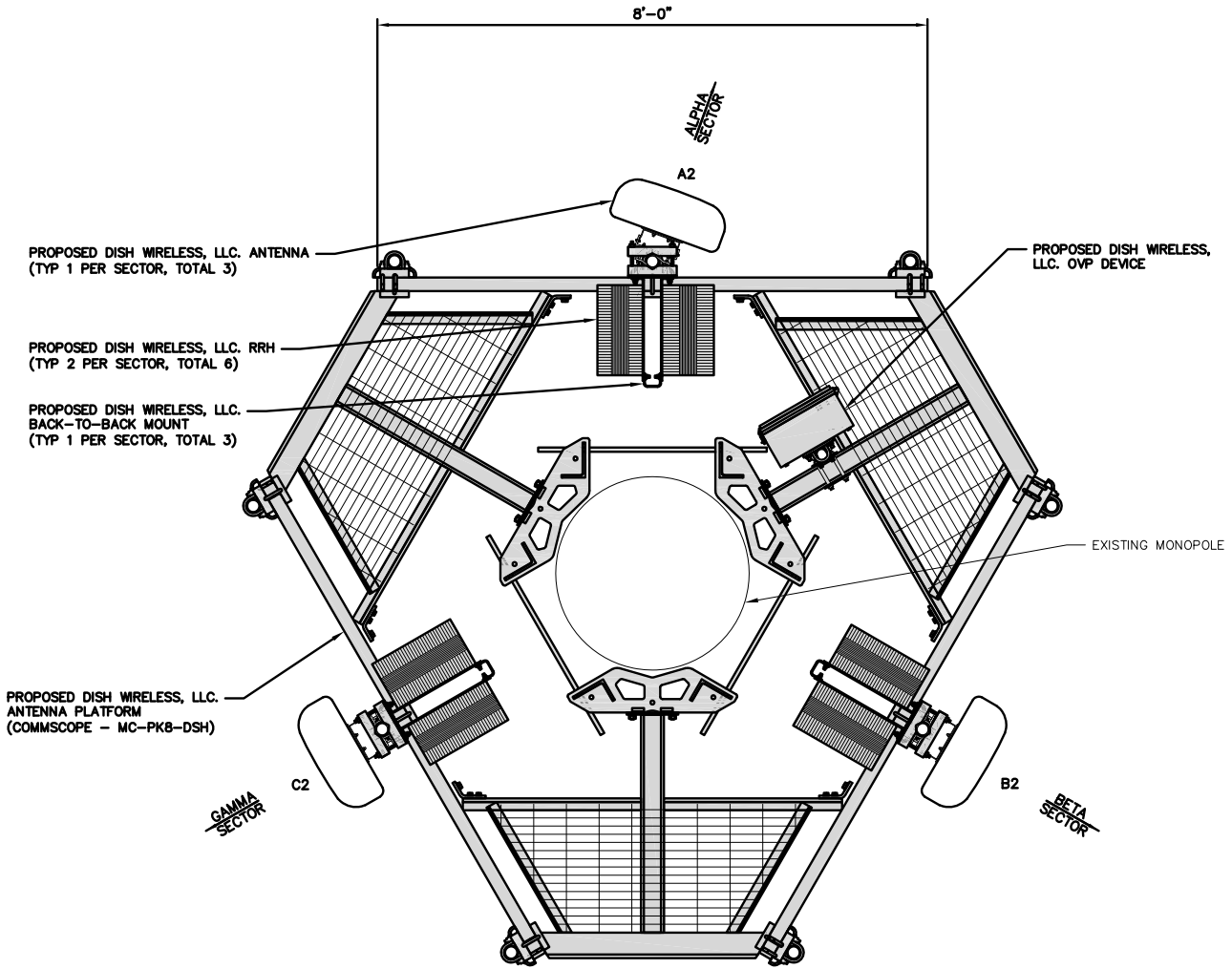
1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
2. ANTENNA AND MW DISH SPECIFICATIONS REFER TO ANTENNA SCHEDULE AND TO FINAL CONSTRUCTION RFDS FOR ALL RF DETAILS
3. EXISTING EQUIPMENT AND FENCE OMITTED FOR CLARITY.



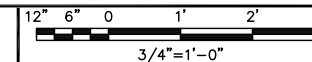
PROPOSED EAST ELEVATION



1



ANTENNA LAYOUT



2

SECTOR	POSITION	ANTENNA						TRANSMISSION CABLE
		EXISTING OR PROPOSED	MANUFACTURER - MODEL NUMBER	TECHNOLOGY	SIZE (HxW)	AZIMUTH	RAD CENTER	FEED LINE TYPE AND LENGTH
ALPHA	A2	PROPOSED	JMA - MX08FRO665-21	5G	72.0" x 20.0"	20°	90'-0"	(1) HIGH-CAPACITY HYBRID CABLE (125' LONG)
BETA	B2	PROPOSED	JMA - MX08FRO665-21	5G	72.0" x 20.0"	120°	90'-0"	
GAMMA	C2	PROPOSED	JMA - MX08FRO665-21	5G	72.0" x 20.0"	240°	90'-0"	
SECTOR	POSITION	RRH		NOTES				
		MANUFACTURER - MODEL NUMBER	TECHNOLOGY					
ALPHA	A2	FUJITSU - TA08025-B604	5G	1. CONTRACTOR TO REFER TO FINAL CONSTRUCTION RFDS FOR ALL RF DETAILS. 2. ANTENNA AND RRH MODELS MAY CHANGE DUE TO EQUIPMENT AVAILABILITY. ALL EQUIPMENT CHANGES MUST BE APPROVED AND REMAIN IN COMPLIANCE WITH THE PROPOSED DESIGN AND STRUCTURAL ANALYSES. 3. VERIFY AZIMUTHS WITH LATEST DISH RFDS PRIOR TO INSTALLATION.				
	A2	FUJITSU - TA08025-B605	5G					
BETA	B2	FUJITSU - TA08025-B604	5G					
	B2	FUJITSU - TA08025-B605	5G					
GAMMA	C2	FUJITSU - TA08025-B604	5G					
	C2	FUJITSU - TA08025-B605	5G					

ANTENNA SCHEDULE

NO SCALE

3



5701 SOUTH SANTA FE DRIVE
LITTLETON, CO 80120



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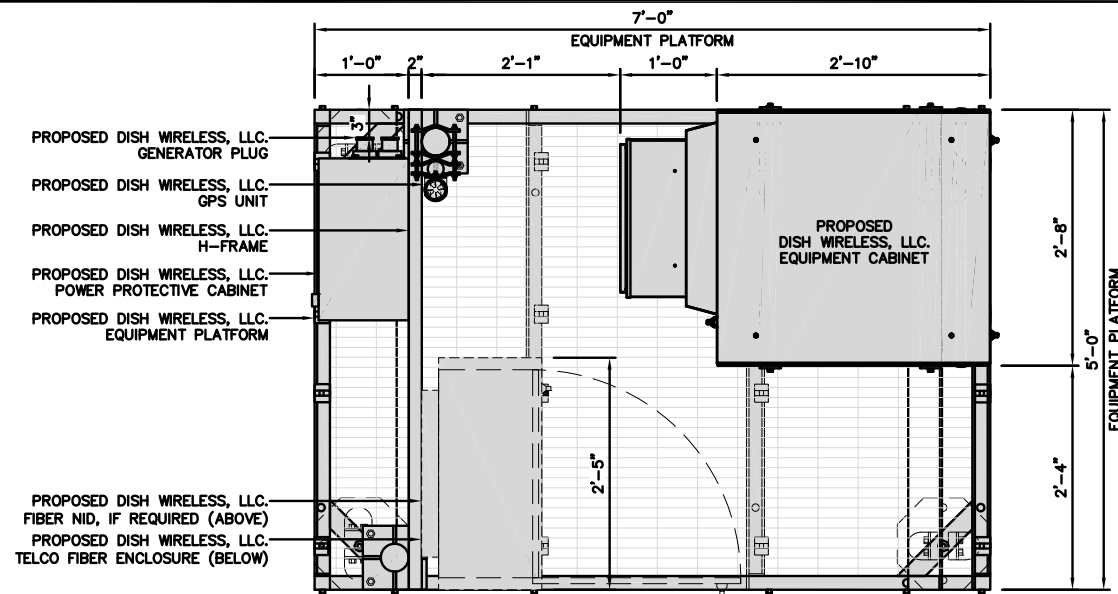
A&E PROJECT NUMBER
2021.0030.0225

DISH WIRELESS, LLC.
PROJECT INFORMATION
MWMKE00246A
N64W24837 FREIHEIT CT.
SUSSEX, WI 53089

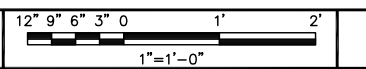
SHEET TITLE
ELEVATION, ANTENNA
LAYOUT AND SCHEDULE

SHEET NUMBER

A-2

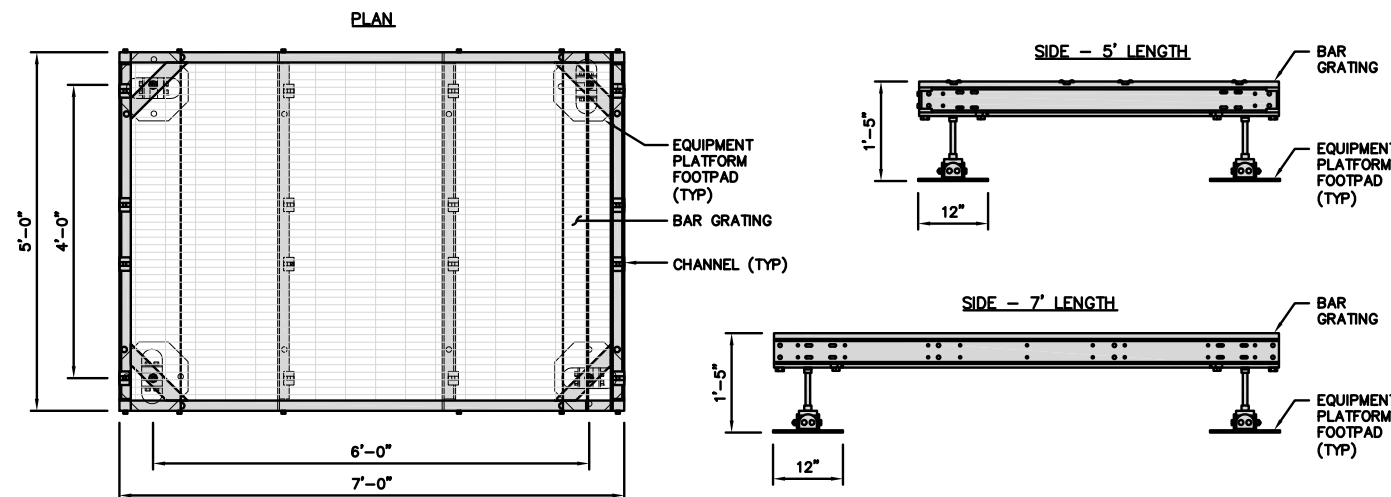


PLATFORM EQUIPMENT PLAN



1

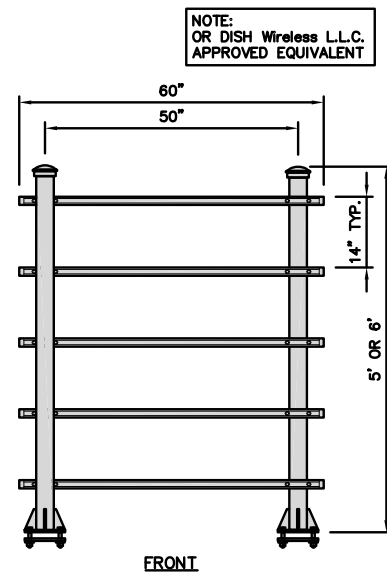
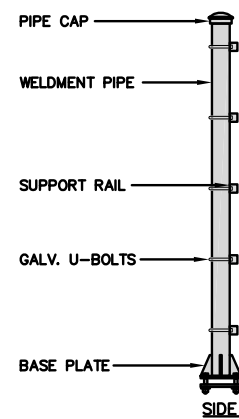
COMMSCOPE MTC4045LP 5X7 PLATFORM	
DIMENSIONS (HxWxD)	16"x84"x60"
TOTAL WEIGHT	423 LBS



PLATFORM DETAIL

NO SCALE 2

COMMSCOPE MTC4045HFLD H-FRAME	
UNISTRUT/SUPPORT RAILS QTY	5
WEIGHT	59.74 lbs



H-FRAME DETAIL

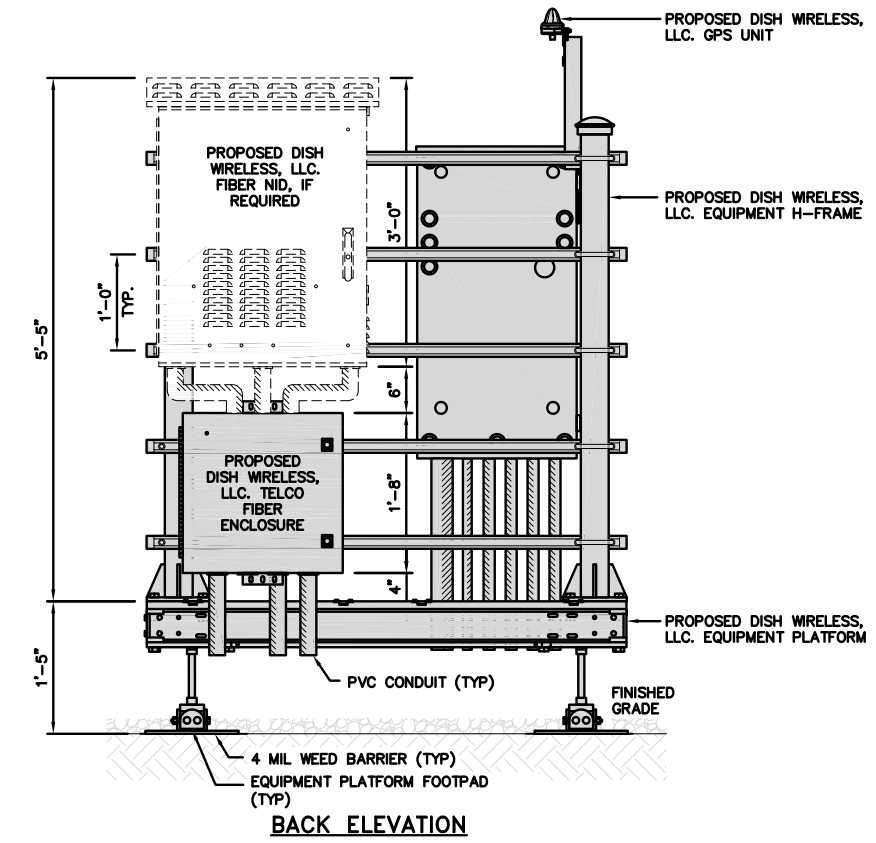
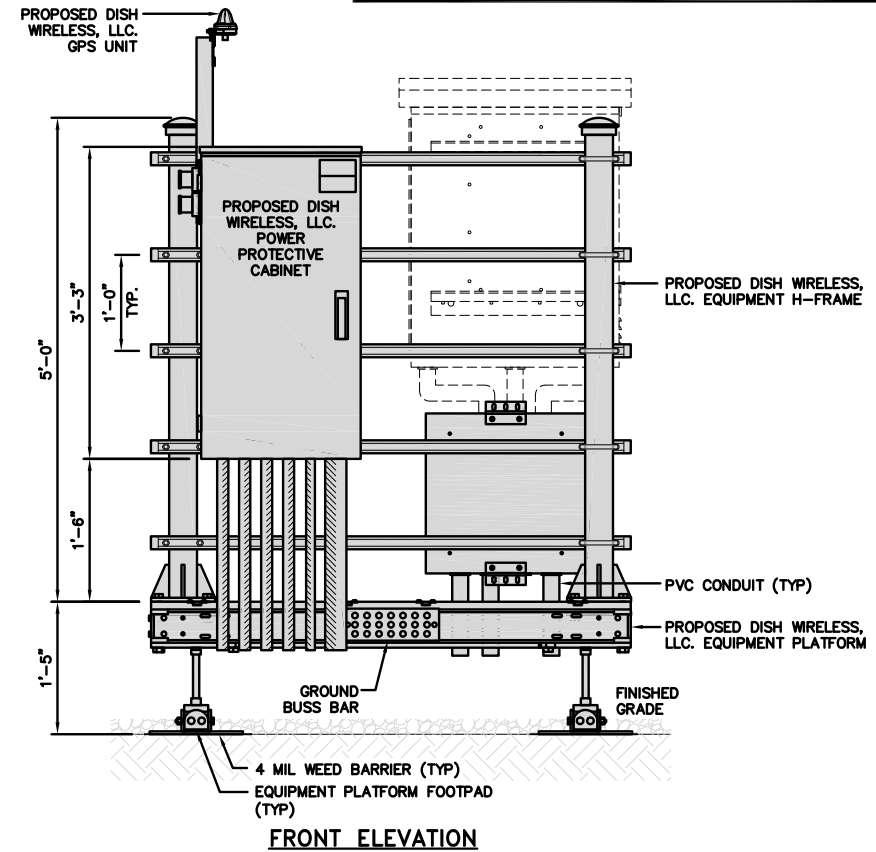
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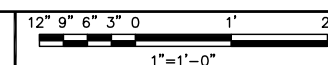
NO SCALE 4

NOTES

1. CONTRACTOR TO BURY PLATFORM FEET WITH A MINIMUM OF 2' OF FILL PER EXISTING SITE SURFACE.
2. WEED BARRIER FABRIC TO BE ADDED AT DISCRETION OF DISH WIRELESS, LLC. CONSTRUCTION MANAGER AT TIME OF CONSTRUCTION. ONE SHEET 8'x8' INSTALLED UNDER ALL FOUR FEET OF THE PLATFORM (4 MIL BLACK PLASTIC).
3. EQUIPMENT CABINET OMITTED FOR CLARITY.



H-FRAME EQUIPMENT ELEVATION



5



5701 SOUTH SANTA FE DRIVE
LITTLETON, CO 80120



1100 E. WOODFIELD ROAD, SUITE 500
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MS DZ DS

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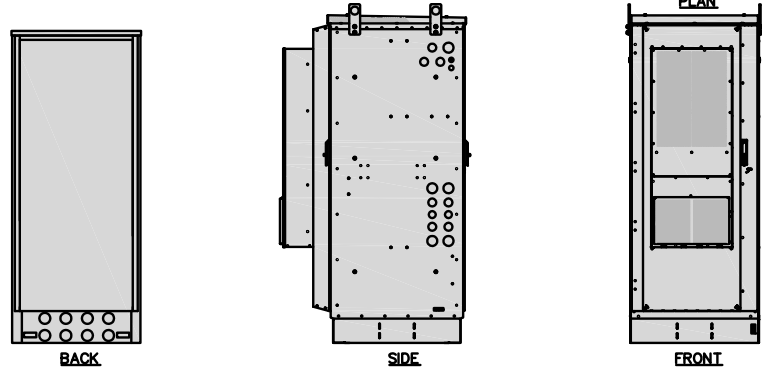
MWMKE00246A
N64W24837 FREIHEIT CT.
SUSSEX, WI 53089

SHEET TITLE
EQUIPMENT PLATFORM AND
H-FRAME DETAILS

SHEET NUMBER

A-3

DELTA HEX - 24 CORE ESOA600-HCB04-PD02	
DIMENSIONS (HxWxD)	75"x32"x34.5"(46")
TOTAL WEIGHT	1100 LBS (TO BE VERIFIED)

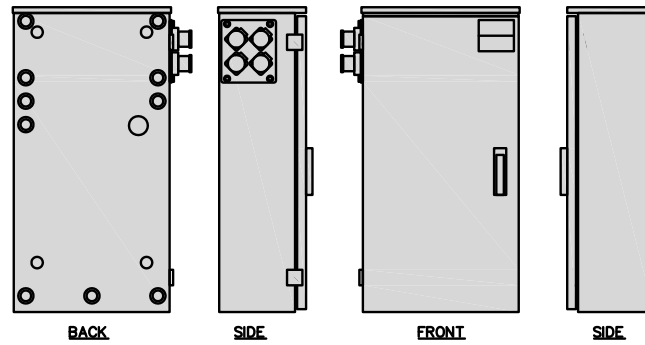


CABINET DETAIL

NO SCALE

1

RAYCAP PPC RDIAC-2465-P-240-MTS	
ENCLOSURE DIMENSIONS (HxWxD):	39"x22.855"x12.593
WEIGHT:	80 lbs
OPERATING AC VOLTAGE	240/120 1 PHASE 3W+G

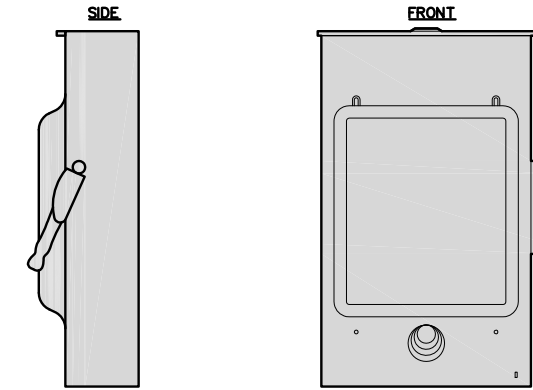


POWER PROTECTION CABINET (PPC) DETAIL

NO SCALE

2

SQUARE D SAFETY SWITCHES D224NRB	
ENCLOSURE DIM (HxWxD)	29.25"x19.00"x8.50"
ENCLOSURE TYPE	NEMA 3R RAINPROOF
UL LISTED	FILE E-2875

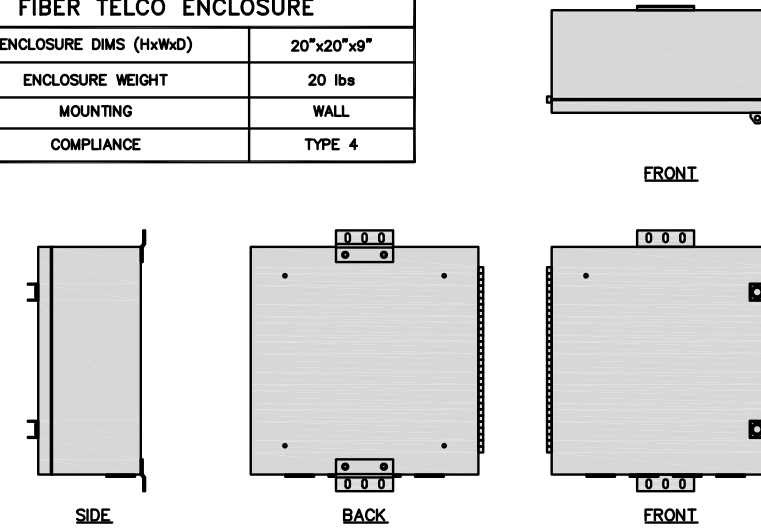


SAFETY SWITCH DETAIL (IF REQUIRED)

NO SCALE

3

CHARLES CFIT-PF2020DSH1 FIBER TELCO ENCLOSURE	
ENCLOSURE DIMS (HxWxD)	20"x20"x9"
ENCLOSURE WEIGHT	20 lbs
MOUNTING	WALL
COMPLIANCE	TYPE 4



FIBER TELCO ENCLOSURE DETAIL

NO SCALE

6

NOT USED

NO SCALE

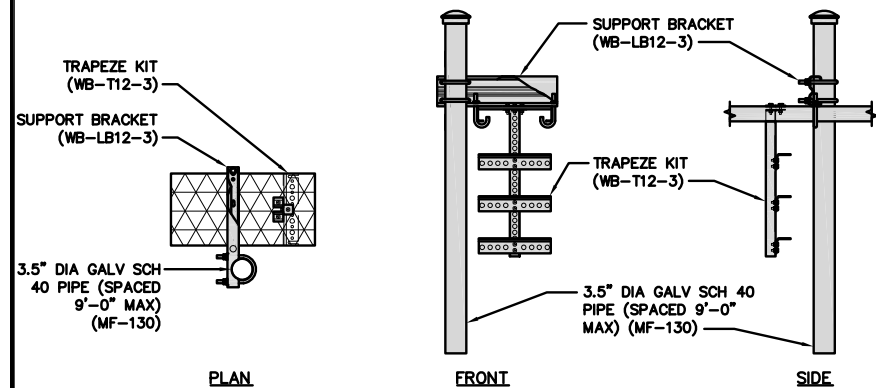
4

NOT USED

NO SCALE

5

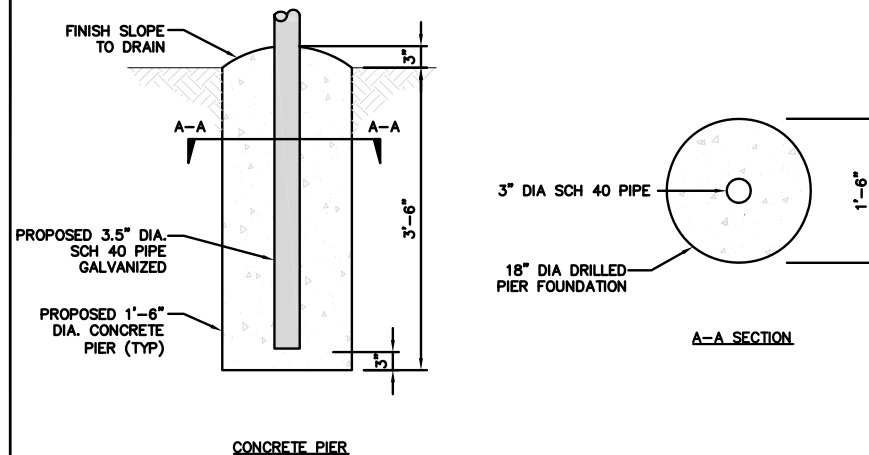
COMMSCOPE WB-K110-B WAVEGUIDE BRIDGE KIT		INCLUDED PRODUCTS:	WB-T12-3 TRAPEZE KIT, 3 RUNGS
DIMENSIONS (HxL)	160"x10"		WB-LB12-3 SUPPORT BRACKET
WEIGHT/ VOLUME	325.0 LBS		MF-130 DIRECT BURIAL PIPE COLUMN, 13'-4"
CABLE RUN (QTY)	12		



ICE BRIDGE DETAIL

NO SCALE

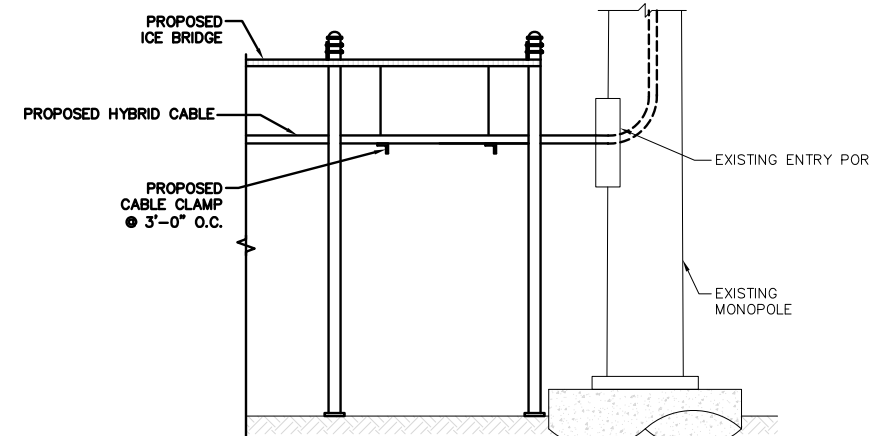
7



TYPICAL ICE BRIDGE CONCRETE PIER DETAIL

NO SCALE

8



NO SCALE

9



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F	10/04/2022	ISSUED FOR PERMITTING
G	10/25/2022	ADDRESS UPDATE

A&E PROJECT NUMBER
2021.0030.0225

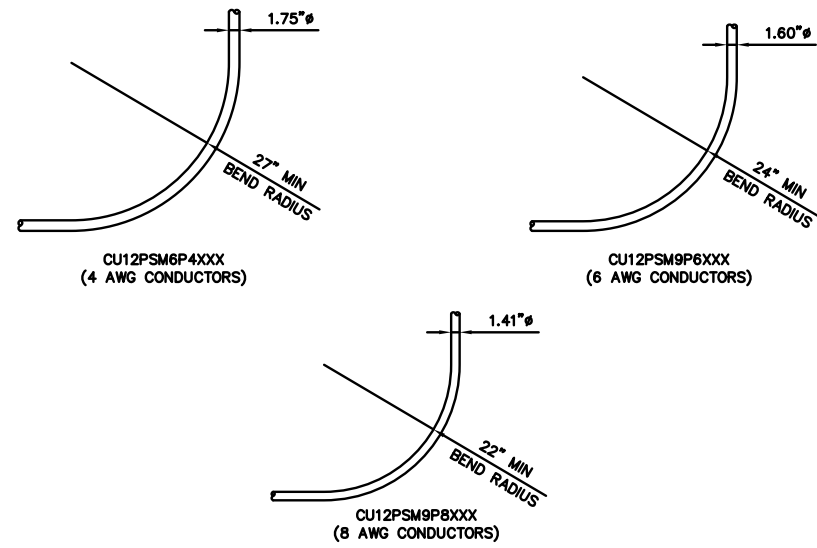
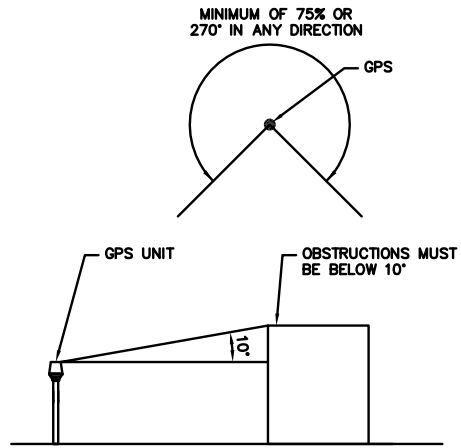
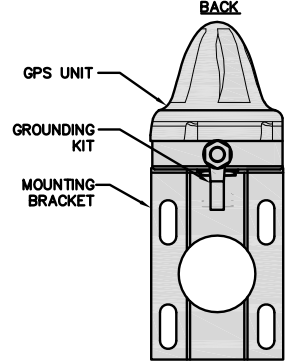
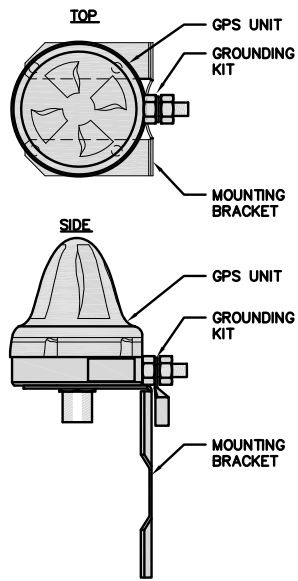
DISH WIRELESS, LLC.
PROJECT INFORMATION
MWMKE00246A
N64W24837 FREIHEIT CT.
SUSSEX, WI 53089

SHEET TITLE
EQUIPMENT DETAILS

SHEET NUMBER

A-4

ROSENBERGER GPSGLONASS-36-N-S	
DIMENSION (DIA x H)	69mm x 98.5mm
WEIGHT (WITH ACCESSORIES)	515.74g
CONNECTOR	N-FEMALE
FREQUENCY RANGE	1559 MHz ~ 1610.5MHz



GPS ANTENNA DETAIL NO SCALE 1

GPS MINIMUM SKY VIEW REQUIREMENTS NO SCALE 2

CABLES UNLIMITED HYBRID CABLE MINIMUM BEND RADIUS NO SCALE 3

NOT USED NO SCALE 4

NOT USED NO SCALE 5

NOT USED NO SCALE 6

NOT USED NO SCALE 7

NOT USED NO SCALE 8

NOT USED NO SCALE 9



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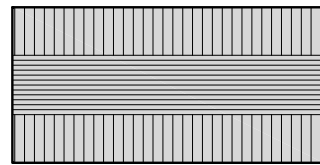
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PROJECT INFORMATION
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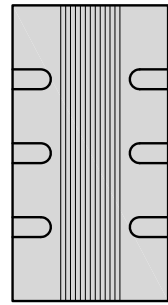
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EQUIPMENT DETAILS

SHEET NUMBER
A-5

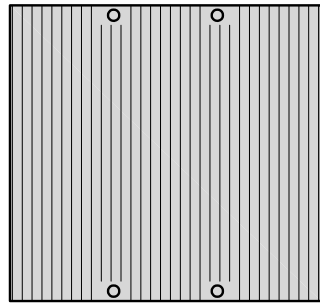
FUJITSU TA08025-B604 RRH	
DIMENSIONS (HxWxD) (KG/IN)	380x400x200/14.9"x15.7"x7.8"
WEIGHT(KG,LB)/ VOLUME	29kg,63.9lb/ 30L
POWER SUPPLY	DC-58~-36V



PLAN

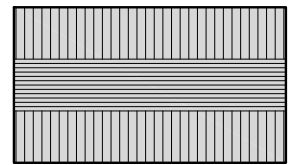


SIDE

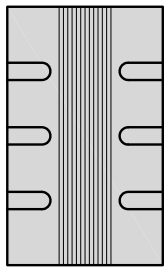


FRONT

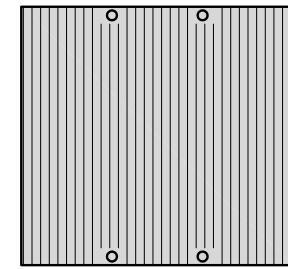
FUJITSU TA08025-B605 RRH	
DIMENSIONS (HxWxD) (KG/IN)	380x400x230/14.9"x15.7"x9.0"
WEIGHT(KG,LB)/ VOLUME	34kg,74.9lb/ 35L
POWER SUPPLY	DC-58~-36V



PLAN



SIDE



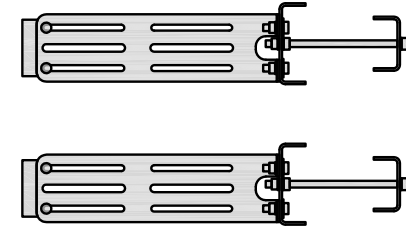
FRONT

COMMSCOPE RR-FA2 LARGE STABILIZER	
DIMENSIONS (HxWxD)	16.4"x8.5"x18"
WEIGHT	39.2 lbs

DESIGN NOTES:
MOUNT WILL FIT LEGS UP TO:
- 5.6" ROUND
- 6.0" 60° ANGLE
- 4.5" 90° ANGLE



PLAN



SIDE

NOTE:
OR DISH Wireless L.L.C.
APPROVED EQUIVALENT

REMOTE RADIO HEAD DETAIL

NO SCALE

1

REMOTE RADIO HEAD DETAIL

NO SCALE

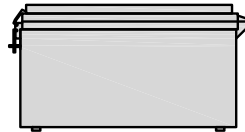
2

RRH MOUNT DETAIL

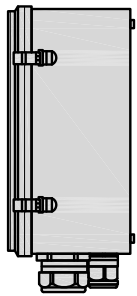
NO SCALE

3

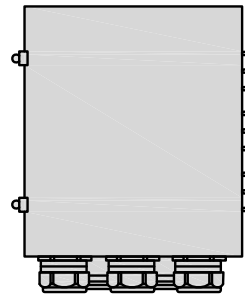
RAYCAP RDIDC-9181-PF-48 DC SURGE PROTECTION (OVP)	
DIMENSIONS (HxWxD)	18.98"x14.39"x8.15"
WEIGHT	21.82 LBS



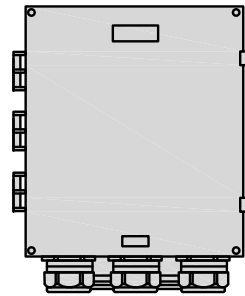
PLAN



SIDE



BACK



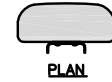
FRONT

SURGE SUPPRESSION DETAIL (OVP)

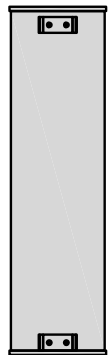
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4

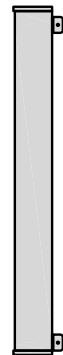
JMA WIRELESS MX08FRO665-21 ANTENNA	
DIMENSIONS (HxWxD)	72.0"x20.0"x8.0"
TOTAL WEIGHT	64.5 LB
RF PORTS, CONNECTOR TYPE	8 x 4.3-10 FEMALE



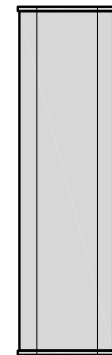
PLAN



BACK



SIDE



FRONT

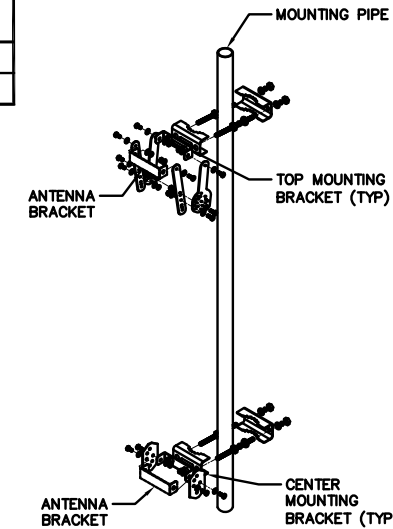
ANTENNA DETAIL

NO SCALE

5

JMA ANTENNA MOUNTING BRACKET #91900318	
TOTAL WEIGHT (WITH BRACKETS)	18 lbs (8.18 Kg)
POLE DIAMETER RANGE	2.5 TO 4.5 INCHES

NOTE:
KIT #91900318: TOP AND BOTTOM BRACKETS
FOR 4-, 6-, AND 8-FOOT ANTENNAS
ANTENNA BRACKET NOT PART OF KIT

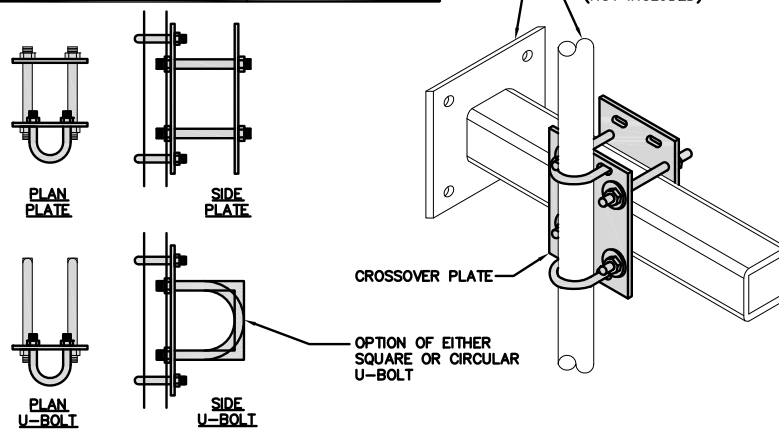


ANTENNA BRACKET DETAIL

NO SCALE

6

COMMSCOPE XP-2040 CROSSOVER PLATE	
DIMENSIONS (HxW)	10"x12"
WEIGHT	11.023 LBS



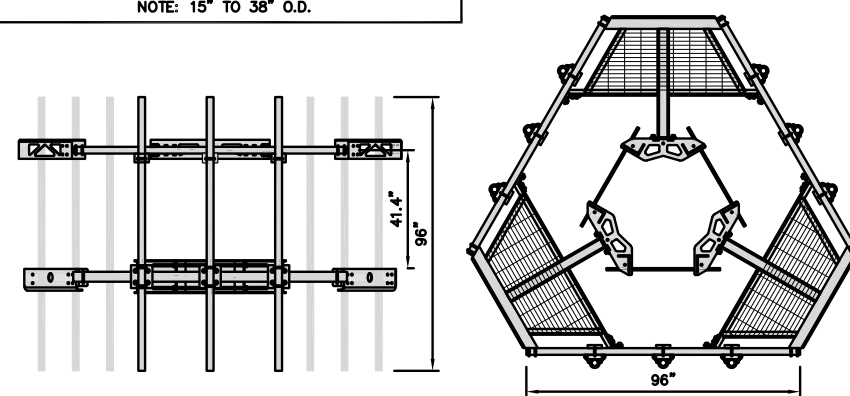
RRH/OVP MOUNT DETAIL

NO SCALE

8

COMMSCOPE MC-PK8-DSH	
FACE WIDTH	96"
WEIGHT	1373.08 lbs
NOTE: 15" TO 38" O.D.	

NOTE:
OR DISH Wireless L.L.C.
APPROVED EQUIVALENT



ANTENNA PLATFORM DETAIL

NO SCALE

9

NOT USED

NO SCALE

7



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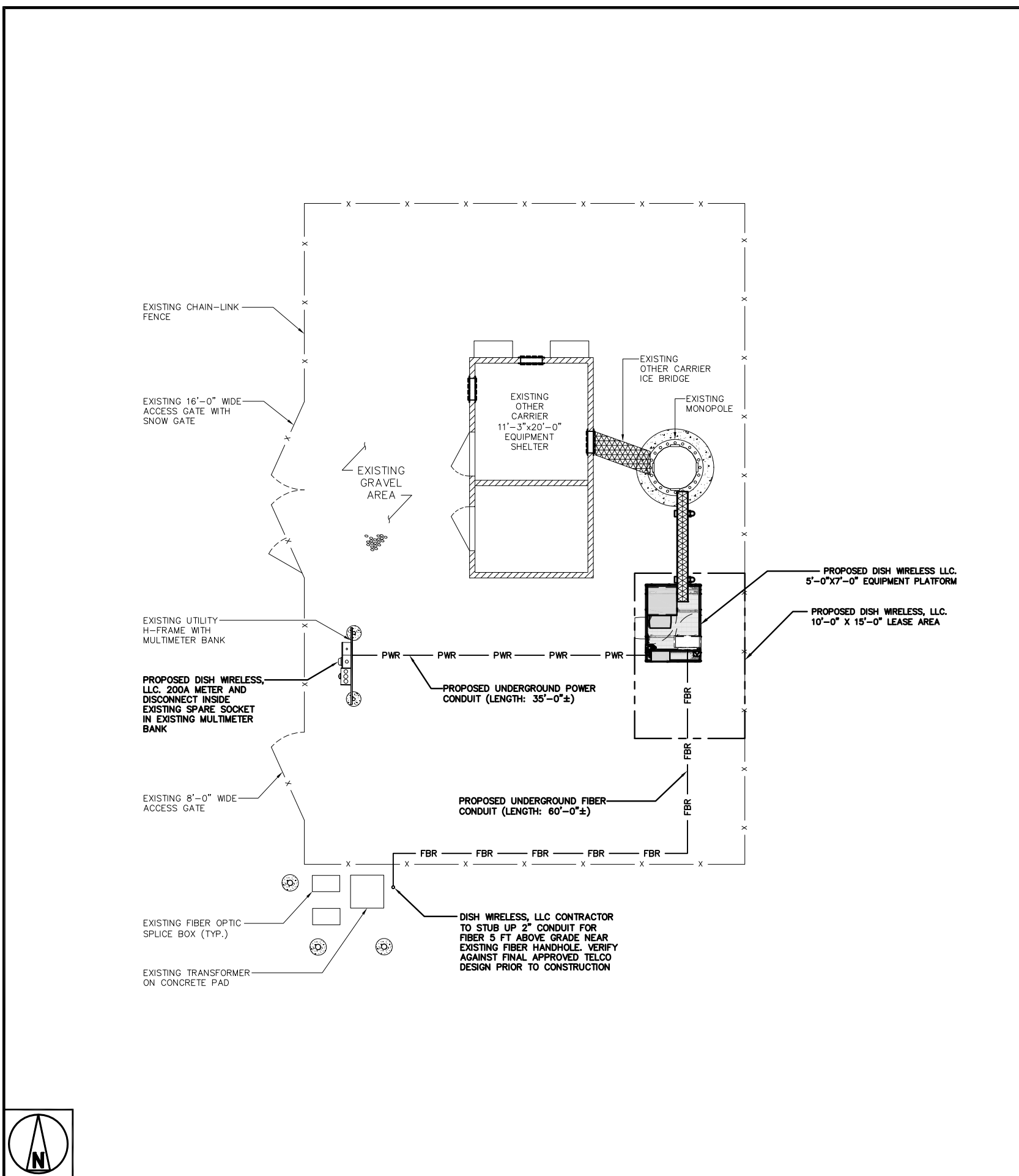
DISH WIRELESS, LLC.
PROJECT INFORMATION

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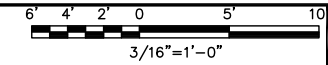
SHEET TITLE
EQUIPMENT DETAILS

SHEET NUMBER

A-6



UTILITY ROUTE PLAN



DC POWER WIRING SHALL BE COLOR CODED AT EACH END FOR IDENTIFYING +24V AND -48V CONDUCTORS. RED MARKINGS SHALL IDENTIFY +24V AND BLUE MARKINGS SHALL IDENTIFY -48V.

1. CONTRACTOR SHALL INSPECT THE EXISTING CONDITIONS PRIOR TO SUBMITTING A BID. ANY QUESTIONS ARISING DURING THE BID PERIOD IN REGARDS TO THE CONTRACTOR'S FUNCTIONS, THE SCOPE OF WORK, OR ANY OTHER ISSUE RELATED TO THIS PROJECT SHALL BE BROUGHT UP DURING THE BID PERIOD WITH THE PROJECT MANAGER FOR CLARIFICATION, NOT AFTER THE CONTRACT HAS BEEN AWARDED.
2. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT NATIONAL ELECTRICAL CODES AND ALL STATE AND LOCAL CODES, LAWS, AND ORDINANCES. PROVIDE ALL COMPONENTS AND WIRING SIZES AS REQUIRED TO MEET NEC STANDARDS.
3. LOCATION OF EQUIPMENT, CONDUIT AND DEVICES SHOWN ON THE DRAWINGS ARE APPROXIMATE AND SHALL BE COORDINATED WITH FIELD CONDITIONS PRIOR TO CONSTRUCTION.
4. CONDUIT ROUGH-IN SHALL BE COORDINATED WITH THE MECHANICAL EQUIPMENT TO AVOID LOCATION CONFLICTS. VERIFY WITH THE MECHANICAL EQUIPMENT CONTRACTOR AND COMPLY AS REQUIRED.
5. CONTRACTOR SHALL PROVIDE ALL BREAKERS, CONDUITS AND CIRCUITS AS REQUIRED FOR A COMPLETE SYSTEM.
6. CONTRACTOR SHALL PROVIDE PULL BOXES AND JUNCTION BOXES AS REQUIRED BY THE NEC ARTICLE 314.
7. CONTRACTOR SHALL PROVIDE ALL STRAIN RELIEF AND CABLE SUPPORTS FOR ALL CABLE ASSEMBLIES. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
8. ALL DISCONNECTS AND CONTROLLING DEVICES SHALL BE PROVIDED WITH ENGRAVED PHENOLIC NAMEPLATES INDICATING EQUIPMENT CONTROLLED, BRANCH CIRCUITS INSTALLED ON, AND PANEL FIELD LOCATIONS FED FROM.
9. INSTALL AN EQUIPMENT GROUNDING CONDUCTOR IN ALL CONDUITS PER THE SPECIFICATIONS AND NEC 250. THE EQUIPMENT GROUNDING CONDUCTORS SHALL BE BONDED AT ALL JUNCTION BOXES, PULL BOXES, AND ALL DISCONNECT SWITCHES, AND EQUIPMENT CABINETS.
10. ALL NEW MATERIAL SHALL HAVE A U.L. LABEL.
11. PANEL SCHEDULE LOADING AND CIRCUIT ARRANGEMENTS REFLECT POST-CONSTRUCTION EQUIPMENT.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR AS-BUILT PANEL SCHEDULE AND SITE DRAWINGS.

ELECTRICAL NOTES

NO SCALE 2

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DISH WIRELESS, LLC.
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MWMKE00246A
N64W24837 FREIHEIT CT.
SUSSEX, WI 53089

SHEET TITLE
ELECTRICAL/FIBER ROUTE
PLAN AND NOTES

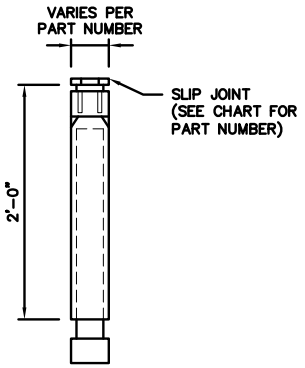
SHEET NUMBER
E-1

NOT USED

NO SCALE 3

CARLON EXPANSION FITTINGS

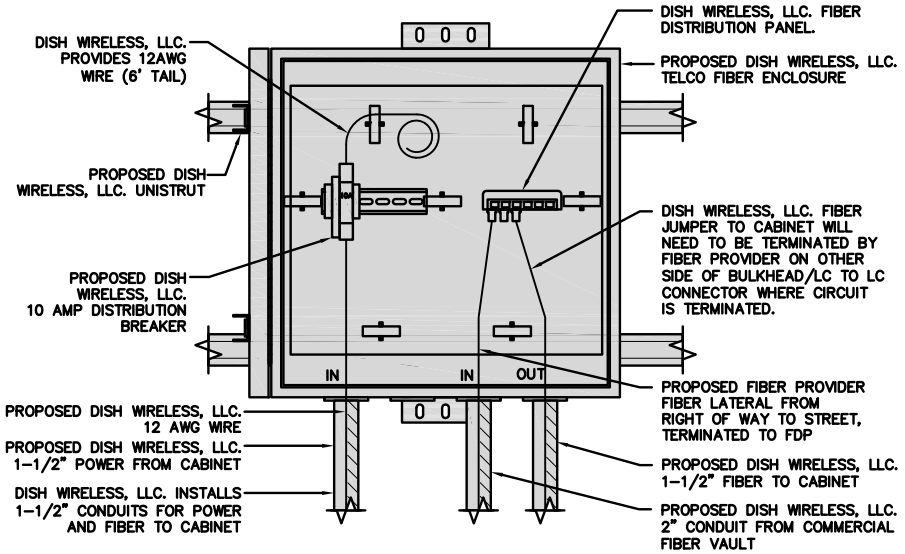
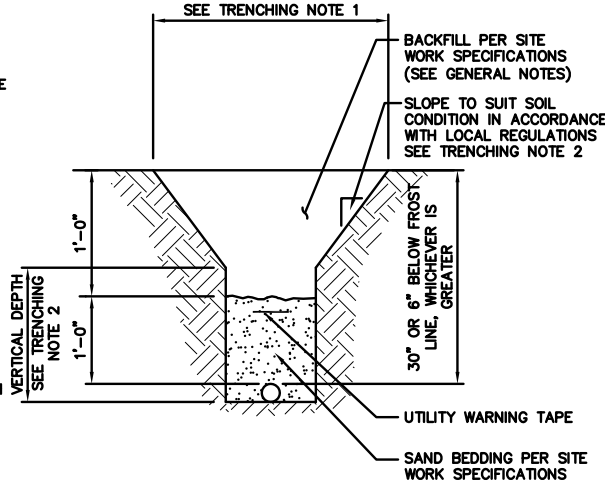
COUPLING END PART#	MALE TERMINAL ADAPTER END PART#	SIZE	STD CTN QTY.	TRAVEL LENGTH
E945D	E945DX	1/2"	20	4"
E945E	E945EX	3/4"	15	4"
E945F	E945FX	1"	10	4"
E945G	E945GX	1 1/4"	5	4"
E945H	E945HX	1 1/2"	5	4"
E945J	E945JX	2"	15	8"
E945K	E945KX	2 1/2"	10	8"
E945L	E945LX	3"	10	8"
E945M	E945MX	3 1/2"	5	8"
E945N	E945NX	4"	5	8"
E945P	E945PX	5"	1	8"
E945R	E945RX	6"	1	8"



NOTE: CONTRACTOR TO INSTALL EXPANSION FITTING SLIP JOINT AT METER CENTER CONDUIT TERMINATION, AS PER LOCAL UTILITY POLICY, ORDINANCE AND/OR SPECIFIED REQUIREMENT.

TRENCHING NOTES

- CONTRACTOR SHALL RESTORE THE TRENCH TO ITS ORIGINAL CONDITIONS BY EITHER SEEDING OR SODDING GRASS AREAS, OR REPLACING ASPHALT OR CONCRETE AREAS TO ITS ORIGINAL CROSS SECTION.
- TRENCHING SAFETY; INCLUDING, BUT NOT LIMITED TO SOIL CLASSIFICATION, SLOPING, AND SHORING, SHALL BE GOVERNED BY THE CURRENT OSHA TRENCHING AND EXCAVATION SAFETY STANDARDS.
- ALL CONDUITS SHALL BE INSTALLED IN COMPLIANCE WITH THE CURRENT NATIONAL ELECTRIC CODE (NEC) OR AS REQUIRED BY THE LOCAL JURISDICTION, WHICHEVER IS THE MOST STRINGENT.



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SHEET TITLE
ELECTRICAL
DETAILS

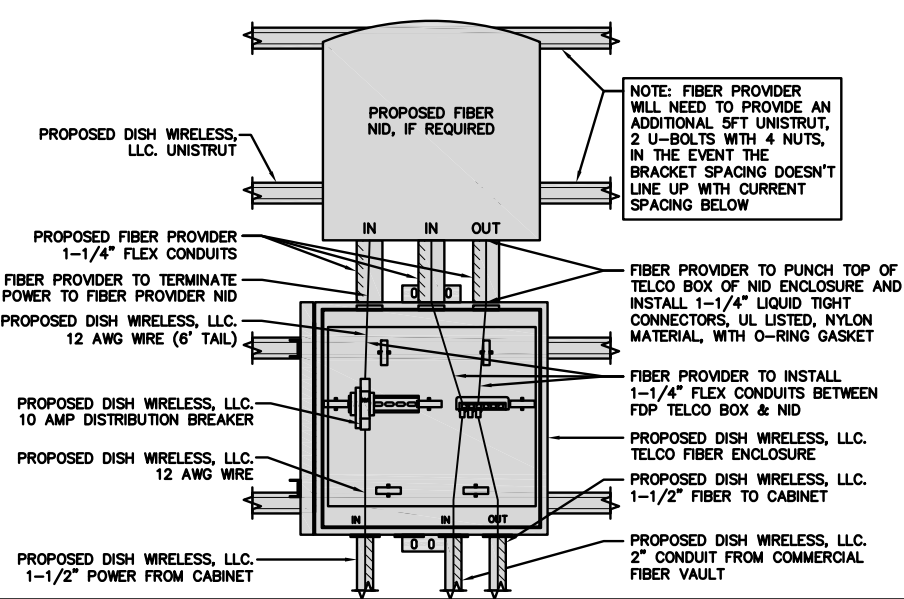
SHEET NUMBER

E-2

EXPANSION JOINT DETAIL NO SCALE 1

TYPICAL UNDERGROUND TRENCH DETAIL NO SCALE 2

DARK TELCO BOX – INTERIOR WIRING LAYOUT NO SCALE 3



LIT TELCO BOX – INTERIOR WIRING LAYOUT (OPTIONAL) NO SCALE 4

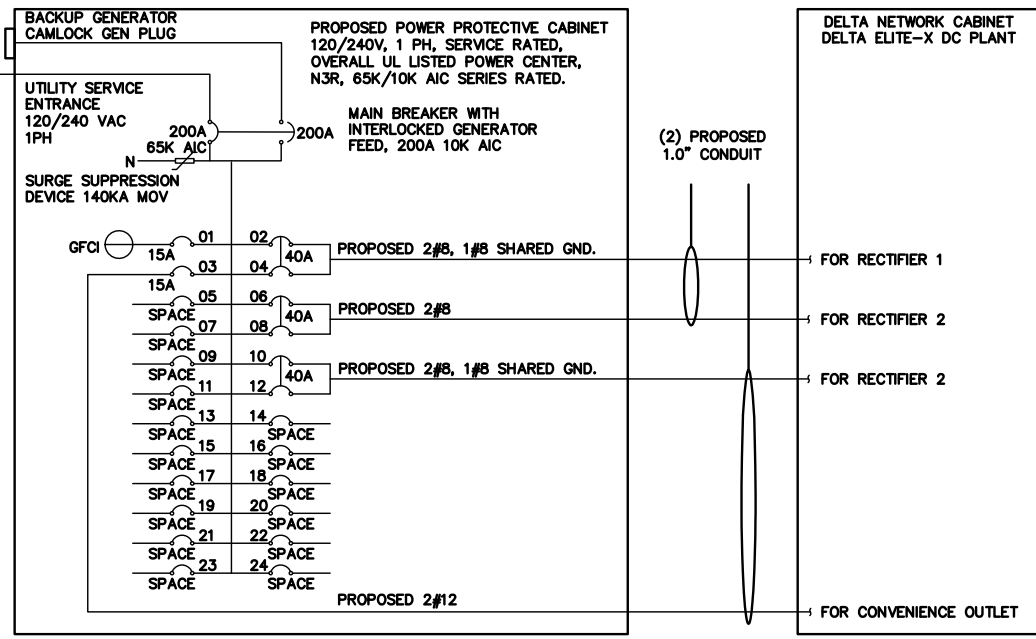
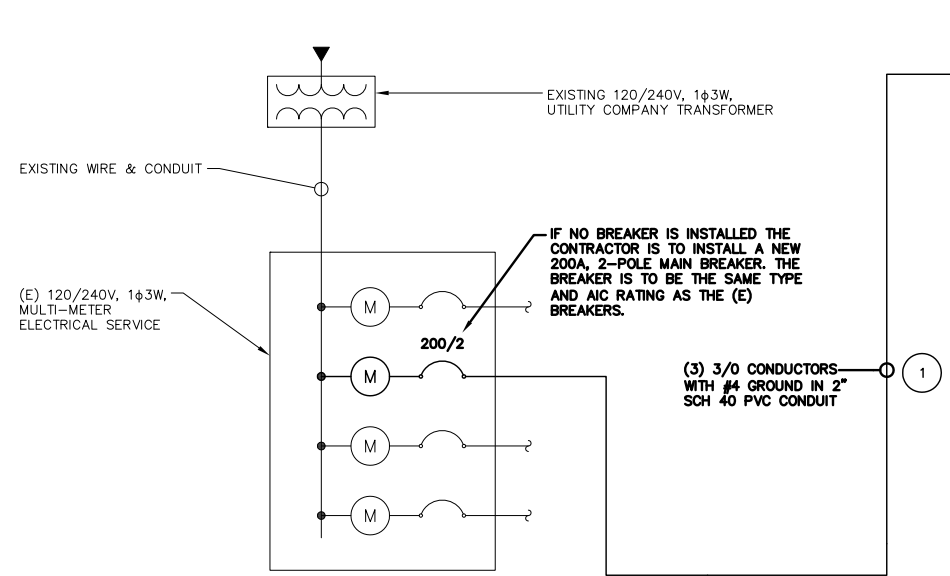
NOT USED NO SCALE 5

NOT USED NO SCALE 6

NOT USED NO SCALE 7

NOT USED NO SCALE 8

NOT USED NO SCALE 9



NOTE:
BRANCH CIRCUIT WIRING SUPPLYING RECTIFIERS ARE TO BE RATED UL1015, 105°C, 600V, AND PVC INSULATED, IN THE SIZES SHOWN IN THE ONE-LINE DIAGRAM. CONTRACTOR MAY SUBSTITUTE UL1015 WIRE FOR THWN-2 FOR CONVENIENCE OUTLET BRANCH CIRCUIT.

BREAKERS REQUIRED: (OR EQUIVALENT MANUFACTURER)
(3) 40A, 2P BREAKER - SQUARE D P/N: Q0240
(2) 15A, 1P BREAKER - SQUARE D P/N: Q0115

NOTES

THE (2) CONDUITS WITH (4) CURRENT CARRYING CONDUCTORS EACH, SHALL APPLY THE ADJUSTMENT FACTOR OF 80% PER 2020 NEC TABLE 310.15(C)(1) FOR UL1015 WIRE. (ALL WIRE AND TERMINATION HARDWARE TO BE RATED 75°C)

#12 FOR 20A OCPD WIRE DERATING: 0.8 x 25A = 20.0A
#8 FOR 40A OCPD WIRE DERATING: 0.8 x 50A = 40.0A

CONDUIT SIZING: AT 40% FILL PER NEC CHAPTER 9, TABLE 4, ARTICLE 358.

1.0" CONDUIT - .3460 SQ. IN AREA
3.0" CONDUIT - 3.538 SQ. IN AREA

(2 CONDUIT): USING THWN-2, CU.
RECTIFIER CONDUCTORS
#8 - 0.0366 SQ. IN X 4 = 0.1464 SQ. IN
#8 - 0.0366 SQ. IN X 1 = 0.0366 SQ. IN <GROUND
TOTAL = 0.1830 SQ. IN

RECTIFIER & GFCI CONDUCTORS
#12 - 0.0133 SQ. IN X 2 = 0.0266 SQ. IN
#8 - 0.0366 SQ. IN X 2 = 0.0732 SQ. IN
#8 - 0.0366 SQ. IN X 1 = 0.0366 SQ. IN <GROUND
TOTAL = 0.1364 SQ. IN

1.0" CONDUIT IS ADEQUATE TO HANDLE THE TOTAL OF (5) WIRES, INCLUDING GROUND WIRE, AS INDICATED ABOVE.

PPC FEED CONDUCTORS (1 CONDUIT): USING THWN, CU.
3/0 - 0.2679 SQ. IN X 3 = 0.8037 SQ. IN
#4 - 0.0824 SQ. IN X 1 = 0.0824 SQ. IN <GROUND
TOTAL = 0.8861 SQ. IN

2.0" CONDUIT IS ADEQUATE TO HANDLE THE TOTAL OF (4) WIRES, INCLUDING GROUND WIRE, AS INDICATED ABOVE.

1 OPTIONAL ALUMINUM SERVICE CONDUCTOR:
• 4/0 AL + #2 GRD MAY BE USED INSTEAD OF 3/0 CU + #4 GRD IF THE TOTAL LENGTH OF THE CONDUCTOR IS LESS THAN 300 FT FROM THE TRANSFORMER.
• ALUMINUM CONDUCTORS MUST BE 90°C TO CARRY THE FULL 200A LOAD REQUIRED
• ALUMINUM TO COPPER BUSS CONNECTIONS MUST MEET AND CONFORM TO ANSI AND BE UL LISTED. USE ANTI CORROSION CONDUCTIVE LUBRICANT ON CONNECTIONS

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A&E PROJECT NUMBER
2021.0030.0225

DISH WIRELESS, LLC.
PROJECT INFORMATION

MWMKE00246A
N64W24837 FREIHEIT CT.
SUSSEX, WI 53089

SHEET TITLE
ELECTRICAL ONE-LINE
& PANEL SCHEDULE

SHEET NUMBER
E-3

PPC ONE-LINE DIAGRAM NO SCALE 1

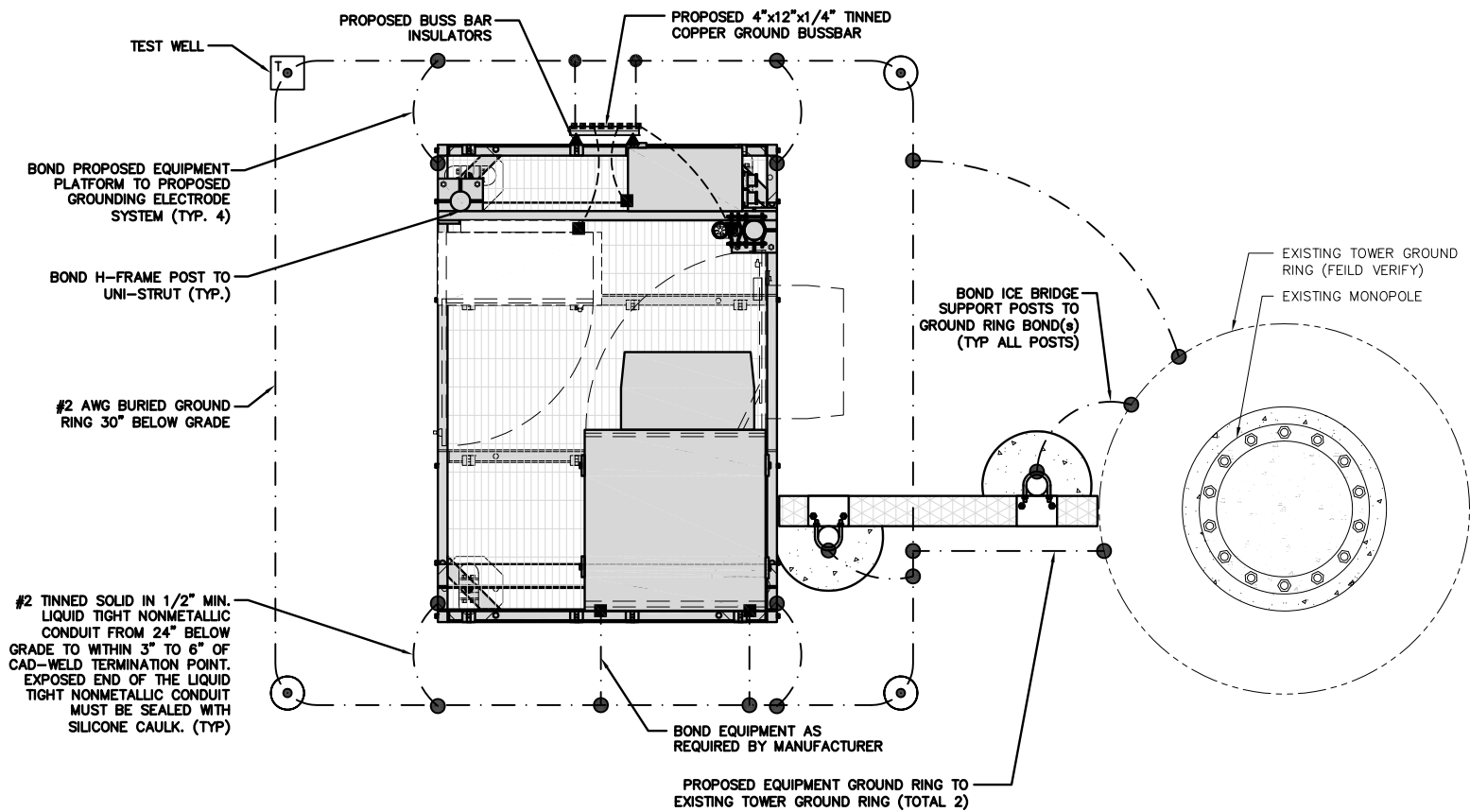
PANEL NAME		LOCATION		VOLTAGE: 240/120 1Ø MAIN C/B: 200 AMPS BUS RATING: 200 AMPS				MOUNTING/ENCLOSURE: SURFACE/NEMA 3R AVAIL. FAULT CURRENT: SHORT CIRCUIT RATING: 65,000 / 10,000 SERIES RATED					
DELTA		EQUIPMENT PLATFORM											
AMPS POLES	WIRE & CONDUIT	TYPE	DESCRIPTION	KVA	CKT	A	B	CKT	KVA	DESCRIPTION	TYPE	WIRE & CONDUIT	AMPS POLES
15/1	2 #12, 1 #12G	R	INTERNAL GFCI	0.18	1	1.68		2	1.50	RECTIFIER	EQ	SEE ONE LINE	40/2
15/1	SEE ONE LINE	R	CONVENIENCE OUTLET	0.18	3		1.68	4	1.50		EQ		
			SPACE		5	1.50		6	1.50	RECTIFIER	EQ	SEE ONE LINE	40/2
			SPACE		7		1.50	8	1.50		EQ		
			SPACE		9	1.50		10	1.50	RECTIFIER	EQ	SEE ONE LINE	40/2
			SPACE		11		1.50	12	1.50		EQ		
			SPACE		13			14		SPACE			
			SPACE		15			16		SPACE			
			SPACE		17			18		SPACE			
			SPACE		19			20		SPACE			
			SPACE		21			22		SPACE			
			SPACE		23			24		SPACE			
				PHASED LOAD	4.7		4.7	KVA					
				TOTAL CONNECTED LOAD					9.4 KVA			39 A	
				TOTAL DEMAND LOAD					9.4 KVA			39 A	

LOAD TYPE	DESCRIPTION	CONN. LOAD KVA	AMPS	DEMAND FACTOR	DESIGN LOAD KVA	AMPS
L	LIGHTING	0.0	0.0	1.25	0.0	0.0
R	RECEPTACLE	0.4	1.5	NEC	0.4	1.5
M	MOTOR	0.0	0.0	NEC	0.0	0.0
H	HEATING	0.0	0.0	1.00	0.0	0.0
AC	HVAC	0.0	0.0	1.00	0.0	0.0
EQ	EQUIPMENT	9.0	37.5	1.00	9.0	37.5
E	EXISTING	0.0	0.0	1.25	0.0	0.0

*ALL EQUIPMENT LOADS CONSIDERED CONTINUOUS LOADS

PANEL SCHEDULE NO SCALE 2

NOT USED NO SCALE 3

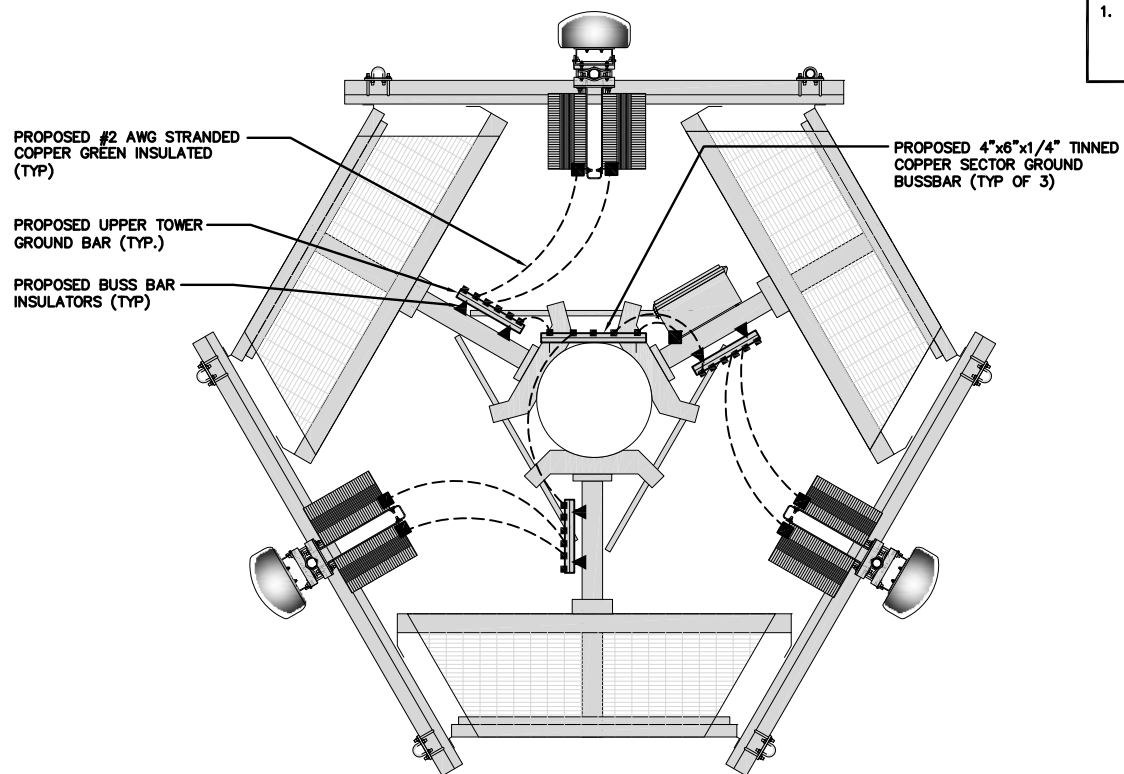


TYPICAL EQUIPMENT GROUNDING PLAN

NO SCALE 1

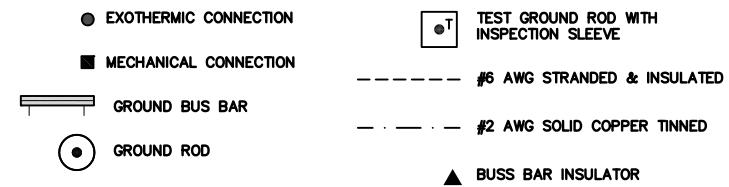
NOTES

1. ANTENNAS AND OVP SHOWN ARE GENERIC AND NOT REFERENCING TO A SPECIFIC MANUFACTURER. THIS LAYOUT IS FOR REFERENCE ONLY



TYPICAL ANTENNA GROUNDING PLAN

NO SCALE 2



GROUNDING LEGEND

1. GROUNDING IS SHOWN DIAGRAMMATICALLY ONLY.
2. CONTRACTOR SHALL GROUND ALL EQUIPMENT AS A COMPLETE SYSTEM. GROUNDING SHALL BE IN COMPLIANCE WITH NEC SECTION 250 AND DISH WIRELESS, LLC. GROUNDING AND BONDING REQUIREMENTS AND MANUFACTURER'S SPECIFICATIONS.
3. ALL GROUND CONDUCTORS SHALL BE COPPER; NO ALUMINUM CONDUCTORS SHALL BE USED.

GROUNDING KEY NOTES

- (A) EXTERIOR GROUND RING: #2 AWG SOLID COPPER, BURIED AT A DEPTH OF AT LEAST 30 INCHES BELOW GRADE, OR 6 INCHES BELOW THE FROST LINE AND APPROXIMATELY 24 INCHES FROM THE EXTERIOR WALL OR FOOTING.
 - (B) TOWER GROUND RING: THE GROUND RING SYSTEM SHALL BE INSTALLED AROUND AN ANTENNA TOWER'S LEGS, AND/OR GUY ANCHORS. WHERE SEPARATE SYSTEMS HAVE BEEN PROVIDED FOR THE TOWER AND THE BUILDING, AT LEAST TWO BONDS SHALL BE MADE BETWEEN THE TOWER RING GROUND SYSTEM AND THE BUILDING RING GROUND SYSTEM USING MINIMUM #2 AWG SOLID COPPER CONDUCTORS.
 - (C) INTERIOR GROUND RING: #2 AWG STRANDED GREEN INSULATED COPPER CONDUCTOR EXTENDED AROUND THE PERIMETER OF THE EQUIPMENT AREA. ALL NON-TELECOMMUNICATIONS RELATED METALLIC OBJECTS FOUND WITHIN A SITE SHALL BE GROUNDED TO THE INTERIOR GROUND RING WITH #6 AWG STRANDED GREEN INSULATED CONDUCTOR.
 - (D) BOND TO INTERIOR GROUND RING: #2 AWG SOLID TINNED COPPER WIRE PRIMARY BONDS SHALL BE PROVIDED AT LEAST AT FOUR POINTS ON THE INTERIOR GROUND RING, LOCATED AT THE CORNERS OF THE BUILDING.
 - (E) GROUND ROD: UL LISTED COPPER CLAD STEEL. MINIMUM 1/2" DIAMETER BY EIGHT FEET LONG. GROUND RODS SHALL BE INSTALLED WITH INSPECTION SLEEVES. GROUND RODS SHALL BE DRIVEN TO THE DEPTH OF GROUND RING CONDUCTOR.
 - (F) CELL REFERENCE GROUND BAR: POINT OF GROUND REFERENCE FOR ALL COMMUNICATIONS EQUIPMENT FRAMES. ALL BONDS ARE MADE WITH #2 AWG UNLESS NOTED OTHERWISE STRANDED GREEN INSULATED COPPER CONDUCTORS. BOND TO GROUND RING WITH (2) #2 SOLID TINNED COPPER CONDUCTORS.
 - (G) HATCH PLATE GROUND BAR: BOND TO THE INTERIOR GROUND RING WITH TWO #2 AWG STRANDED GREEN INSULATED COPPER CONDUCTORS. WHEN A HATCH-PLATE AND A CELL REFERENCE GROUND BAR ARE BOTH PRESENT, THE CRGB MUST BE CONNECTED TO THE HATCH-PLATE AND TO THE INTERIOR GROUND RING USING (2) TWO #2 AWG STRANDED GREEN INSULATED COPPER CONDUCTORS EACH.
 - (H) EXTERIOR CABLE ENTRY PORT GROUND BARS: LOCATED AT THE ENTRANCE TO THE CELL SITE BUILDING. BOND TO GROUND RING WITH A #2 AWG SOLID TINNED COPPER CONDUCTORS WITH AN EXOTHERMIC WELD AND INSPECTION SLEEVE.
 - (I) TELCO GROUND BAR: BOND TO BOTH CELL REFERENCE GROUND BAR OR EXTERIOR GROUND RING.
 - (J) FRAME BONDING: THE BONDING POINT FOR TELECOM EQUIPMENT FRAMES SHALL BE THE GROUND BUS THAT IS NOT ISOLATED FROM THE EQUIPMENTS METAL FRAMEWORK.
 - (K) INTERIOR UNIT BONDS: METAL FRAMES, CABINETS AND INDIVIDUAL METALLIC UNITS LOCATED WITH THE AREA OF THE INTERIOR GROUND RING REQUIRE A #6 AWG STRANDED GREEN INSULATED COPPER BOND TO THE INTERIOR GROUND RING.
 - (L) FENCE AND GATE GROUNDING: METAL FENCES WITHIN 7 FEET OF THE EXTERIOR GROUND RING OR OBJECTS BONDED TO THE EXTERIOR GROUND RING SHALL BE BONDED TO THE GROUND RING WITH A #2 AWG SOLID TINNED COPPER CONDUCTOR AT AN INTERVAL NOT EXCEEDING 25 FEET. BONDS SHALL BE MADE AT EACH GATE POST AND ACROSS GATE OPENINGS.
 - (M) EXTERIOR UNIT BONDS: METALLIC OBJECTS, EXTERNAL TO OR MOUNTED TO THE BUILDING, SHALL BE BONDED TO THE EXTERIOR GROUND RING. USING #2 TINNED SOLID COPPER WIRE
 - (N) ICE BRIDGE SUPPORTS: EACH ICE BRIDGE LEG SHALL BE BONDED TO THE GROUND RING WITH #2 AWG BARE TINNED COPPER CONDUCTOR. PROVIDE EXOTHERMIC WELDS AT BOTH THE ICE BRIDGE LEG AND BURIED GROUND RING.
 - (O) DURING ALL DC POWER SYSTEM CHANGES INCLUDING DC SYSTEM CHANGE OUTS, RECTIFIER REPLACEMENTS OR ADDITIONS, BREAKER DISTRIBUTION CHANGES, BATTERY ADDITIONS, BATTERY REPLACEMENTS AND INSTALLATIONS OR CHANGES TO DC CONVERTER SYSTEMS IT SHALL BE REQUIRED THAT SERVICE CONTRACTORS VERIFY ALL DC POWER SYSTEMS ARE EQUIPPED WITH A MASTER DC SYSTEM RETURN GROUND CONDUCTOR FROM THE DC POWER SYSTEM COMMON RETURN BUS DIRECTLY CONNECTED TO THE CELL SITE REFERENCE GROUND BAR
 - (P) TOWER TOP COLLECTOR BUSS BAR IS TO BE MECHANICALLY BONDED TO PROPOSED ANTENNA MOUNT COLLAR.
- REFER TO DISH WIRELESS, LLC. GROUNDING NOTES.

GROUNDING KEY NOTES

NO SCALE 3



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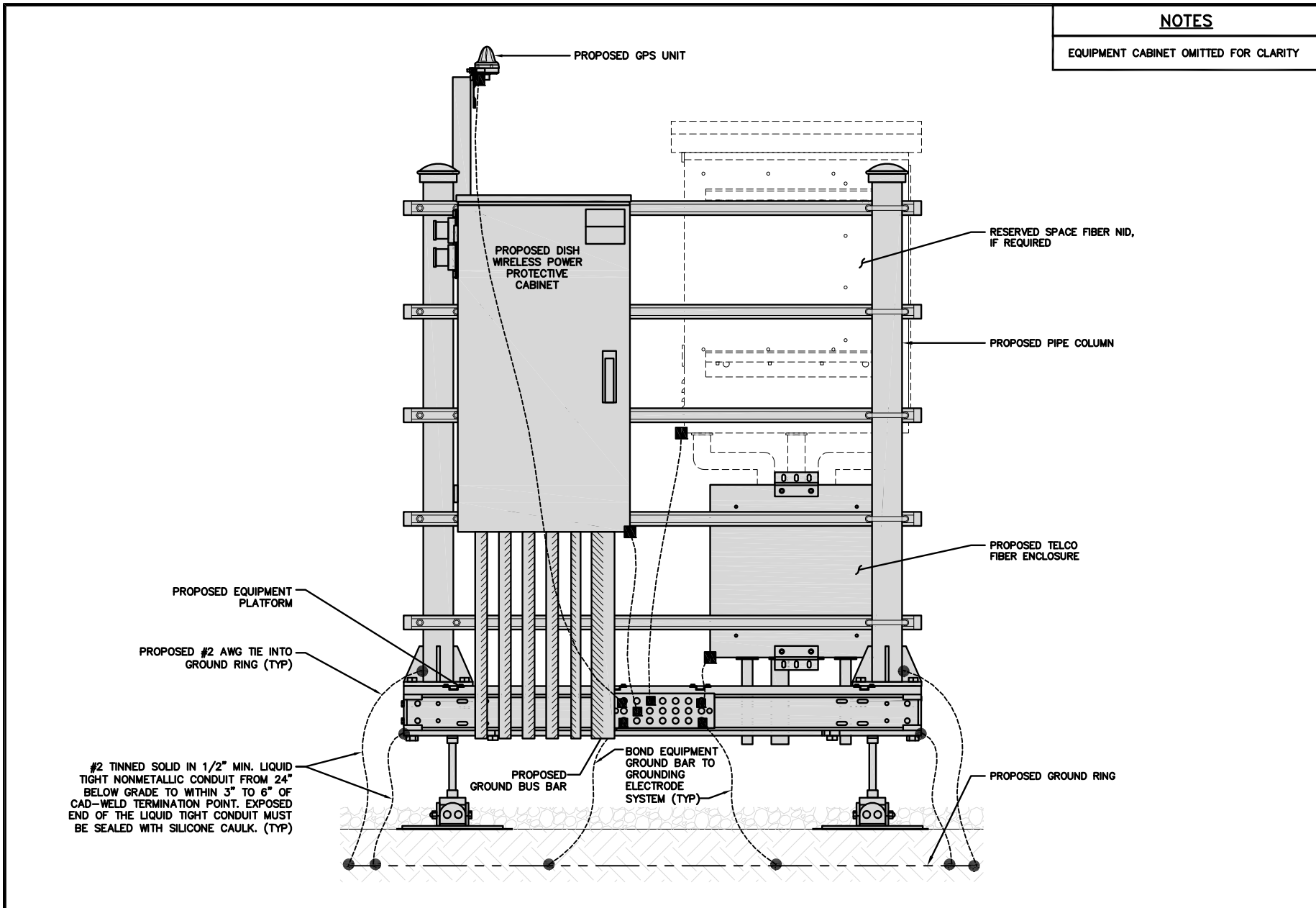
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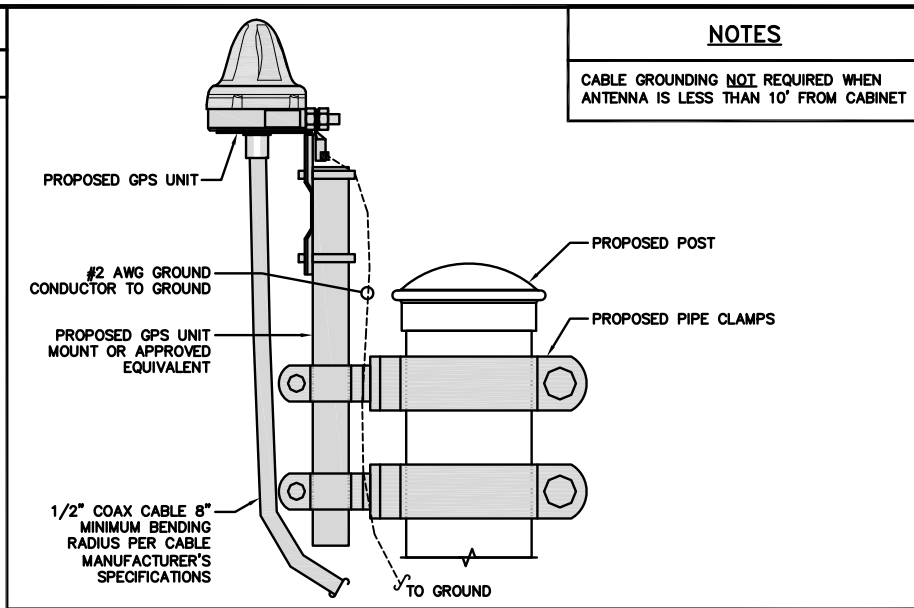
SHEET TITLE
GROUNDING PLANS
AND NOTES

SHEET NUMBER

G-1

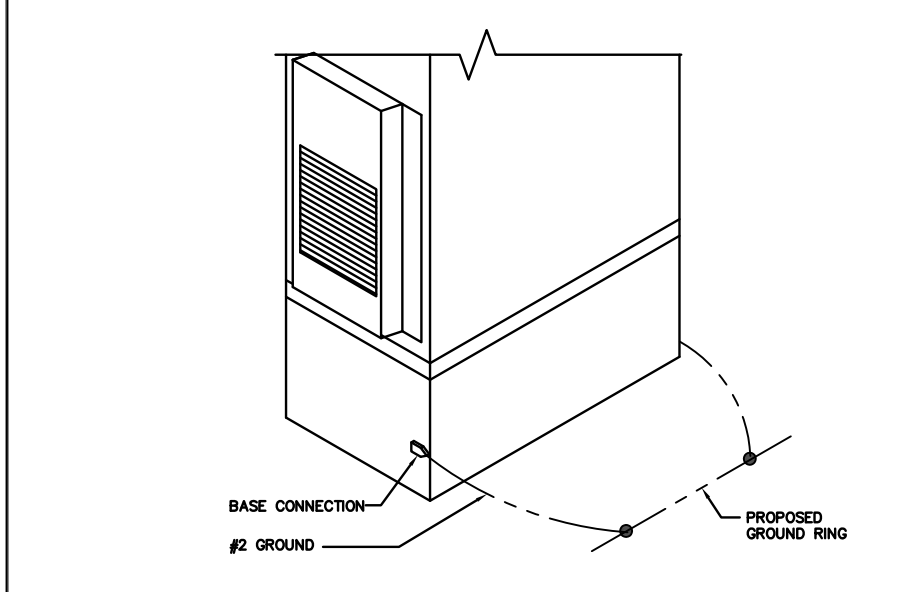


NOTES
EQUIPMENT CABINET OMITTED FOR CLARITY



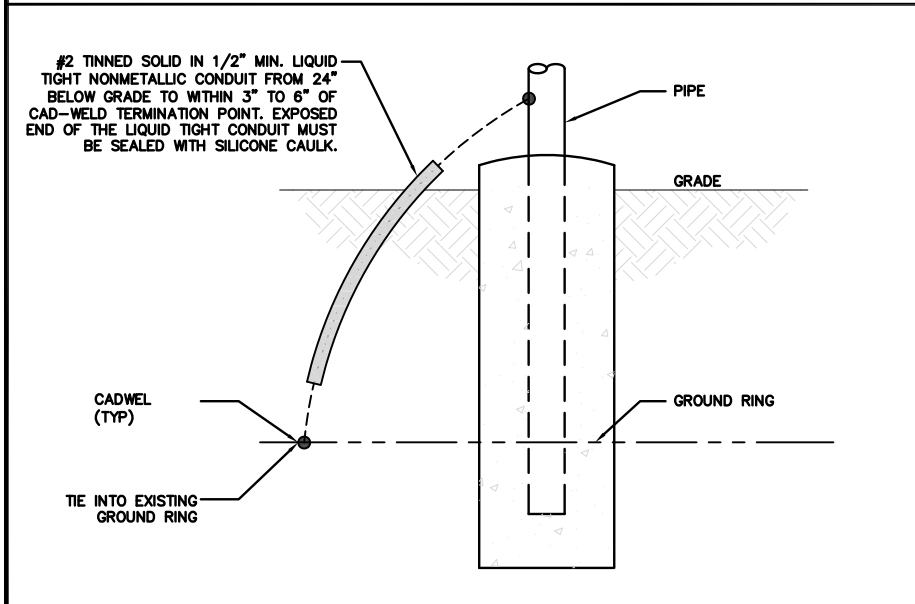
NOTES
CABLE GROUNDING NOT REQUIRED WHEN ANTENNA IS LESS THAN 10' FROM CABINET

TYPICAL GPS UNIT GROUNDING NO SCALE 2

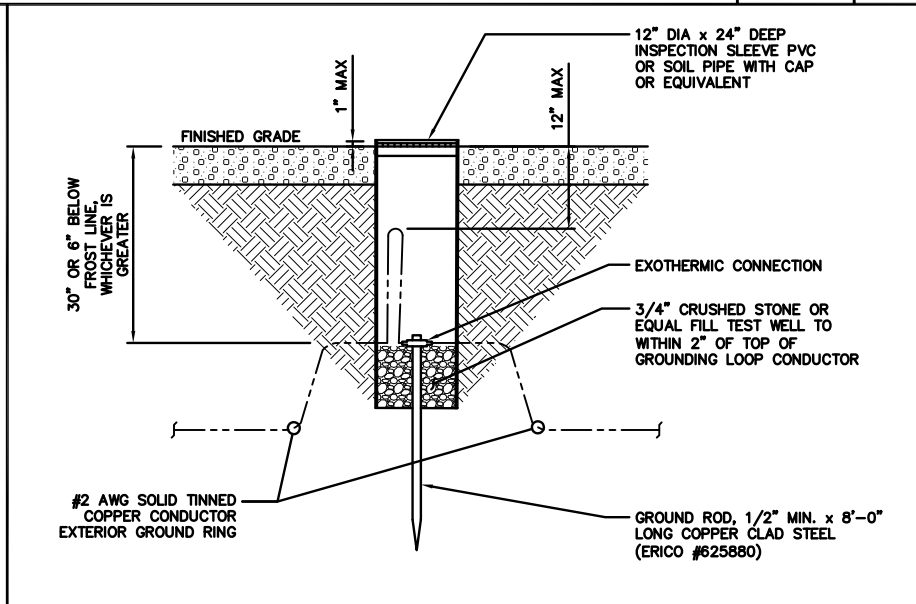


OUTDOOR CABINET GROUNDING NO SCALE 3

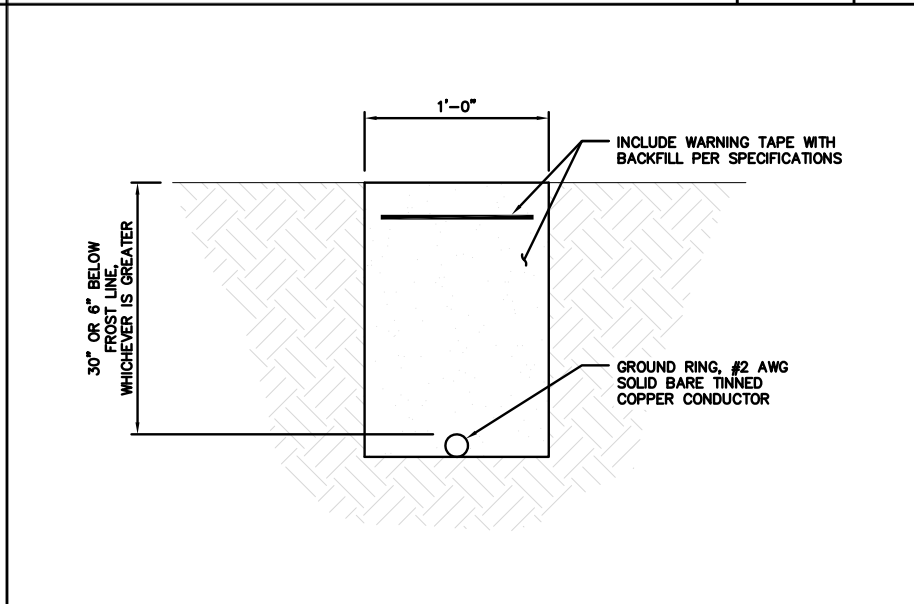
H-FRAME GROUNDING DETAIL NO SCALE 1



TRANSITIONING GROUND DETAIL NO SCALE 4



TYPICAL TEST GROUND ROD WITH INSPECTION SLEEVE NO SCALE 5



TYPICAL GROUND RING TRENCH NO SCALE 6



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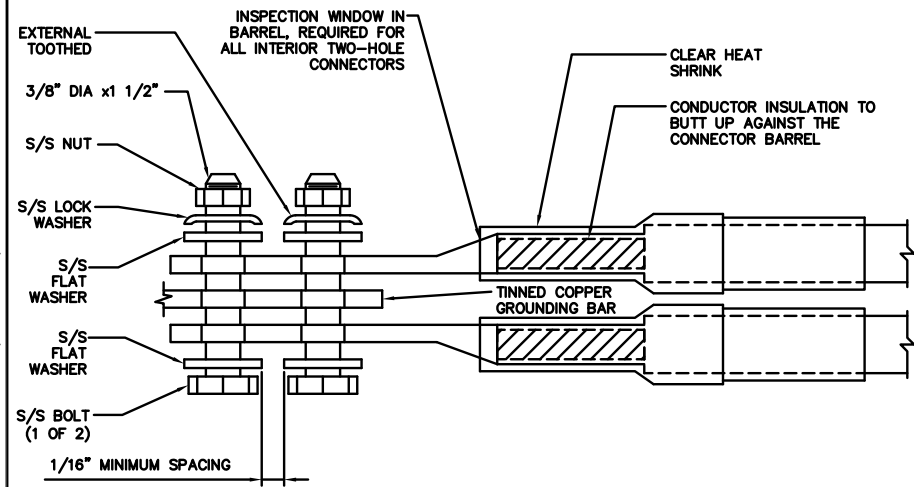
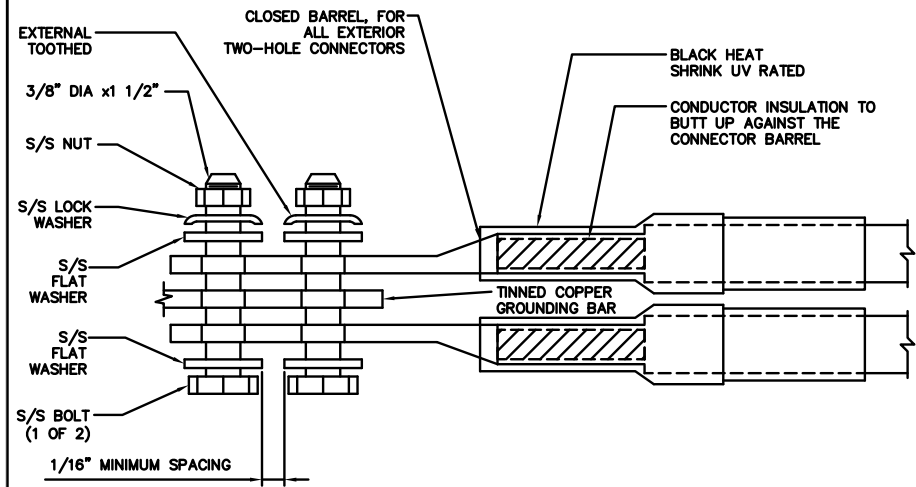
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SHEET TITLE
GROUNDING DETAILS

SHEET NUMBER
G-2

1. EXOTHERMIC WELD (2) TWO, #2 AWG BARE TINNED SOLID COPPER CONDUCTORS TO GROUND BAR. ROUTE CONDUCTORS TO BURIED GROUND RING AND PROVIDE PARALLEL EXOTHERMIC WELD.
2. ALL EXTERIOR GROUNDING HARDWARE SHALL BE STAINLESS STEEL 3/8" DIAMETER OR LARGER. ALL HARDWARE 18-8 STAINLESS STEEL INCLUDING LOCK WASHERS, COAT ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND BEFORE MATING.
3. FOR GROUND BOND TO STEEL ONLY: COAT ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND BEFORE MATING.
4. DO NOT INSTALL CABLE GROUNDING KIT AT A BEND AND ALWAYS DIRECT GROUND CONDUCTOR DOWN TO GROUNDING BUS.
5. NUT & WASHER SHALL BE PLACED ON THE FRONT SIDE OF THE GROUND BAR AND BOLTED ON THE BACK SIDE.
6. ALL GROUNDING PARTS AND EQUIPMENT TO BE SUPPLIED AND INSTALLED BY CONTRACTOR.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ADDITIONAL GROUND BAR AS REQUIRED.
8. ENSURE THE WIRE INSULATION TERMINATION IS WITHIN 1/8" OF THE BARREL (NO SHINERS).



TYPICAL GROUNDING NOTES

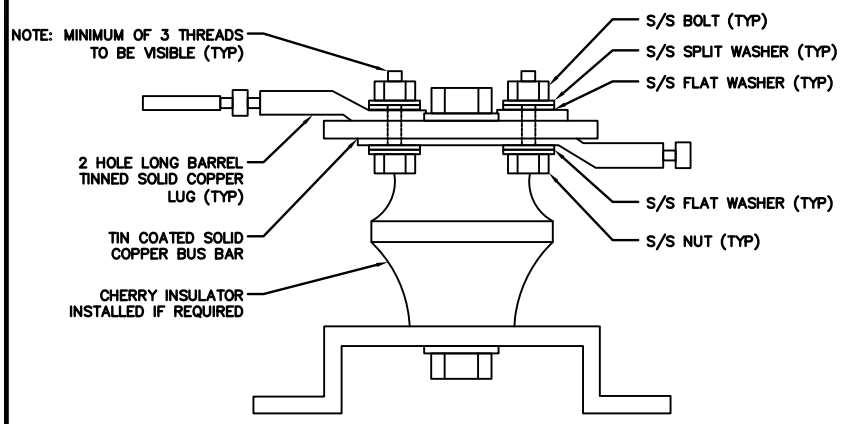
NO SCALE 1

TYPICAL EXTERIOR TWO HOLE LUG

NO SCALE 2

TYPICAL INTERIOR TWO HOLE LUG

NO SCALE 3



LUG DETAIL

NO SCALE 4

NOT USED

NO SCALE 5

NOT USED

NO SCALE 6

NOT USED

NO SCALE 7

NOT USED

NO SCALE 8

NOT USED

NO SCALE 9



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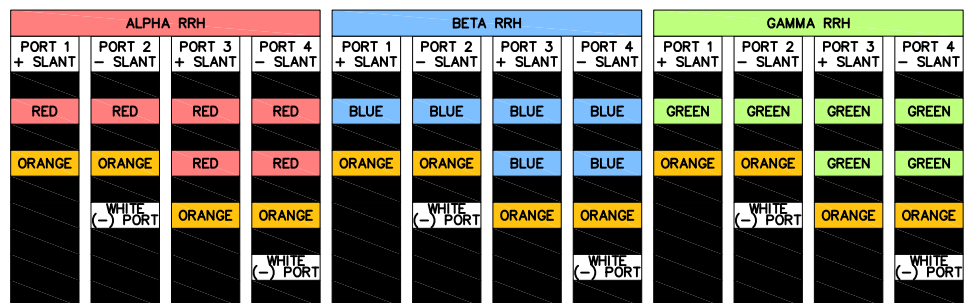
SHEET TITLE
GROUNDING DETAILS

SHEET NUMBER
G-3

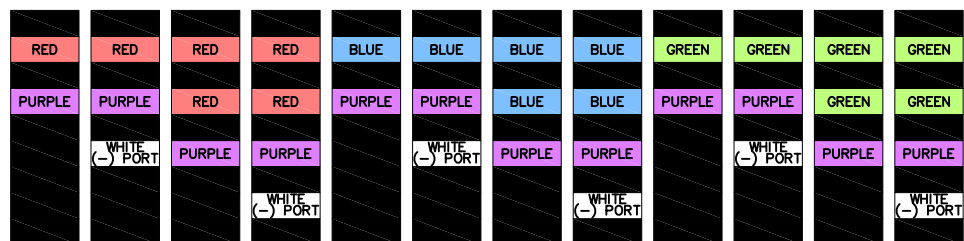
HYBRID/DISCREET CABLES

3/4" TAPE WIDTHS WITH 3/4" SPACING

LOW-BAND RRH
(600 MHz N71 BASEBAND) +
(850 MHz N26 BAND) +
(700 MHz N29 BAND) - OPTIONAL PER MARKET
ADD FREQUENCY COLOR TO SECTOR BAND
(CBRS WILL USE YELLOW BAND)



MID-BAND RRH
(AWS BANDS N66+N70)
ADD FREQUENCY COLOR TO SECTOR BAND
(CBRS WILL USE YELLOW BANDS)



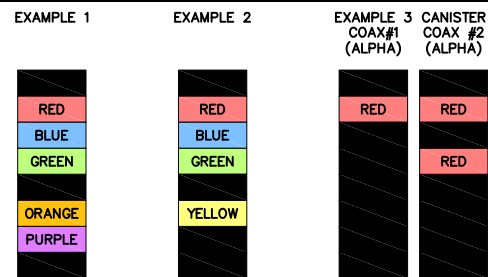
HYBRID/DISCREET CABLES

INCLUDE SECTOR BANDS BEING SUPPORTED
ALONG WITH FREQUENCY BANDS.

EXAMPLE 1 - HYBRID, OR DISCREET, SUPPORTS
ALL SECTORS, BOTH LOW-BANDS AND
MID-BANDS.

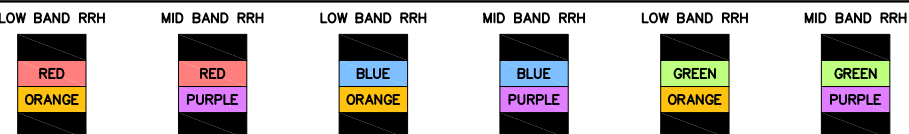
EXAMPLE 2 - HYBRID, OR DISCREET, SUPPORTS
CBRS ONLY, ALL SECTORS.

EXAMPLE 3 - MAIN COAX WITH GROUND
MOUNTED RRHs.



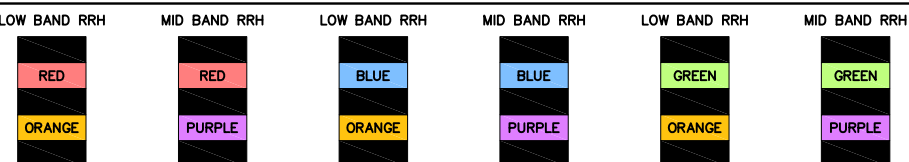
FIBER JUMPERS TO RRHs

LOW-BAND HHR FIBER CABLES HAVE
SECTOR STRIPE ONLY.



POWER CABLES TO RRHs

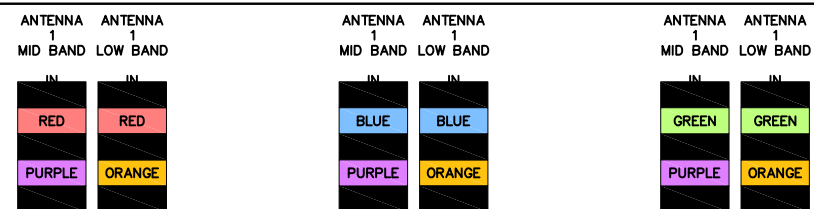
LOW-BAND RRH POWER CABLES HAVE
SECTOR STRIPE ONLY



RET MOTORS AT ANTENNAS

RET CONTROL IS HANDLED BY THE MID-BAND
RRH WHEN ONE SET OF RET PORTS EXIST ON
ANTENNA.

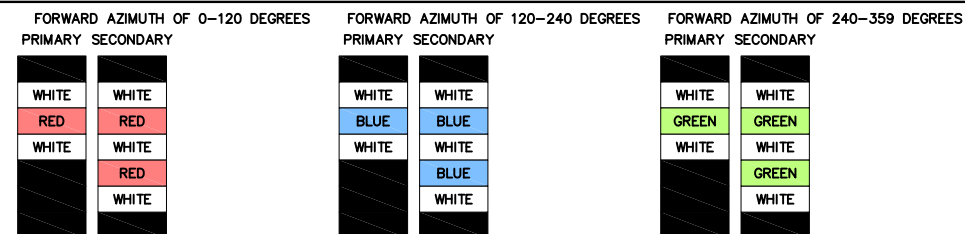
SEPARATE RET CABLES ARE USED WHEN
ANTENNA PORTS PROVIDE INPUTS FOR BOTH
LOW AND MID BANDS.



MICROWAVE RADIO LINKS

LINKS WILL HAVE A 1.5-2 INCH WHITE WRAP
WITH THE AZIMUTH COLOR OVERLAPPING IN
THE MIDDLE.
ADD ADDITIONAL SECTOR COLOR BANDS FOR
EACH ADDITIONAL MW RADIO.

MICROWAVE CABLES WILL REQUIRE P-TOUCH
LABELS INSIDE THE CABINET TO IDENTIFY THE
LOCAL AND REMOTE SITE ID'S.



RF CABLE COLOR CODES

NO SCALE

1

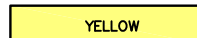
LOW BANDS (N71+N26)
OPTIONAL - (N29)



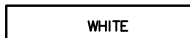
AWS
(N66+N70+H-BLOCK)



CBRS TECH
(3 GHz)



NEGATIVE SLANT PORT
ON ANT/RRH



ALPHA SECTOR



BETA SECTOR



GAMMA SECTOR



COLOR IDENTIFIER

NO SCALE

2

NOT USED

NO SCALE

3

NOT USED

NO SCALE

4



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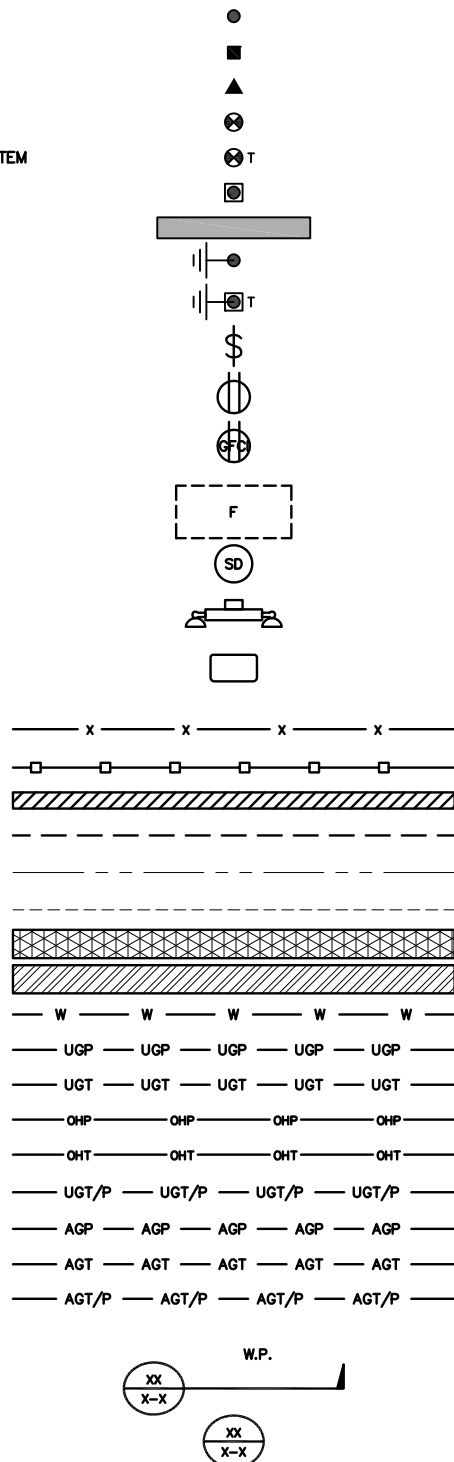
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SHEET TITLE
RF
CABLE COLOR CODE

SHEET NUMBER
RF-1

EXOTHERMIC CONNECTION
 MECHANICAL CONNECTION
 BUSS BAR INSULATOR
 CHEMICAL ELECTROLYTIC GROUNDING SYSTEM
 TEST CHEMICAL ELECTROLYTIC GROUNDING SYSTEM
 EXOTHERMIC WITH INSPECTION SLEEVE
 GROUNDING BAR
 GROUND ROD
 TEST GROUND ROD WITH INSPECTION SLEEVE
 SINGLE POLE SWITCH
 DUPLEX RECEPTACLE
 DUPLEX GFCI RECEPTACLE
 FLUORESCENT LIGHTING FIXTURE
 (2) TWO LAMPS 48-T8
 SMOKE DETECTION (DC)
 EMERGENCY LIGHTING (DC)
 SECURITY LIGHT W/PHOTOCELL LITHONIA ALXW
 LED-1-25A400/51K-SR4-120-PE-DOBTXD
 CHAIN LINK FENCE
 WOOD/WROUGHT IRON FENCE
 WALL STRUCTURE
 LEASE AREA
 PROPERTY LINE (PL)
 SETBACKS
 ICE BRIDGE
 CABLE TRAY
 WATER LINE
 UNDERGROUND POWER
 UNDERGROUND TELCO
 OVERHEAD POWER
 OVERHEAD TELCO
 UNDERGROUND TELCO/POWER
 ABOVE GROUND POWER
 ABOVE GROUND TELCO
 ABOVE GROUND TELCO/POWER
 WORKPOINT
 SECTION REFERENCE
 DETAIL REFERENCE



LEGEND

AB ANCHOR BOLT	IN INCH
ABV ABOVE	INT INTERIOR
AC ALTERNATING CURRENT	LB(S) POUND(S)
ADDL ADDITIONAL	LF LINEAR FEET
AFF ABOVE FINISHED FLOOR	LTE LONG TERM EVOLUTION
AFG ABOVE FINISHED GRADE	MAS MASONRY
AGL ABOVE GROUND LEVEL	MAX MAXIMUM
AIC AMPERAGE INTERRUPTION CAPACITY	MB MACHINE BOLT
ALUM ALUMINUM	MECH MECHANICAL
ALT ALTERNATE	MFR MANUFACTURER
ANT ANTENNA	MGB MASTER GROUND BAR
APPROX APPROXIMATE	MIN MINIMUM
ARCH ARCHITECTURAL	MISC MISCELLANEOUS
ATS AUTOMATIC TRANSFER SWITCH	MTL METAL
AWG AMERICAN WIRE GAUGE	MTS MANUAL TRANSFER SWITCH
BATT BATTERY	MW MICROWAVE
BLDG BUILDING	NEC NATIONAL ELECTRIC CODE
BLK BLOCK	NM NEWTON METERS
BLKG BLOCKING	NO. NUMBER
BM BEAM	# NUMBER
BTC BARE TINNED COPPER CONDUCTOR	NTS NOT TO SCALE
BOF BOTTOM OF FOOTING	OC ON-CENTER
CAB CABINET	OSHA OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
CANT CANTILEVERED	OPNG OPENING
CHG CHARGING	P/C PRECAST CONCRETE
CLG CEILING	PCS PERSONAL COMMUNICATION SERVICES
CLR CLEAR	PCU PRIMARY CONTROL UNIT
COL COLUMN	PRC PRIMARY RADIO CABINET
COMM COMMON	PP POLARIZING PRESERVING
CONC CONCRETE	PSF POUNDS PER SQUARE FOOT
CONSTR CONSTRUCTION	PSI POUNDS PER SQUARE INCH
DBL DOUBLE	PT PRESSURE TREATED
DC DIRECT CURRENT	PWR POWER CABINET
DEPT DEPARTMENT	QTY QUANTITY
DF DOUGLAS FIR	RAD RADIUS
DIA DIAMETER	RECT RECTIFIER
DIAG DIAGONAL	REF REFERENCE
DIM DIMENSION	REINF REINFORCEMENT
DWG DRAWING	REQ'D REQUIRED
DWL DOWEL	RET REMOTE ELECTRIC TILT
EA EACH	RF RADIO FREQUENCY
EC ELECTRICAL CONDUCTOR	RMC RIGID METALLIC CONDUIT
EL ELEVATION	RRH REMOTE RADIO HEAD
ELEC ELECTRICAL	RRU REMOTE RADIO UNIT
EMT ELECTRICAL METALLIC TUBING	RWY RACEWAY
ENG ENGINEER	SCH SCHEDULE
EQ EQUAL	SHT SHEET
EXP EXPANSION	SIAD SMART INTEGRATED ACCESS DEVICE
EXT EXTERIOR	SIM SIMILAR
EW EACH WAY	SPEC SPECIFICATION
FAB FABRICATION	SQ SQUARE
FF FINISH FLOOR	SS STAINLESS STEEL
FG FINISH GRADE	STD STANDARD
FIF FACILITY INTERFACE FRAME	STL STEEL
FIN FINISH(ED)	TEMP TEMPORARY
FLR FLOOR	THK THICKNESS
FDN FOUNDATION	TMA TOWER MOUNTED AMPLIFIER
FOC FACE OF CONCRETE	TN TOE NAIL
FOM FACE OF MASONRY	TOA TOP OF ANTENNA
FOS FACE OF STUD	TOC TOP OF CURB
FOW FACE OF WALL	TOF TOP OF FOUNDATION
FS FINISH SURFACE	TOP TOP OF PLATE (PARAPET)
FT FOOT	TOS TOP OF STEEL
FTG FOOTING	TOW TOP OF WALL
GA GAUGE	TVSS TRANSIENT VOLTAGE SURGE SUPPRESSION
GEN GENERATOR	TYP TYPICAL
GFCI GROUND FAULT CIRCUIT INTERRUPTER	UG UNDERGROUND
GLB GLUE LAMINATED BEAM	UL UNDERWRITERS LABORATORY
GLV GALVANIZED	UNO UNLESS NOTED OTHERWISE
GPS GLOBAL POSITIONING SYSTEM	UMTS UNIVERSAL MOBILE TELECOMMUNICATIONS SYSTEM
GND GROUND	UPS UNINTERRUPTIBLE POWER SYSTEM (DC POWER PLANT)
GSM GLOBAL SYSTEM FOR MOBILE	VIF VERIFIED IN FIELD
HDG HOT DIPPED GALVANIZED	W WIDE
HDR HEADER	W/ WITH
HGR HANGER	WD WOOD
HVAC HEAT/VENTILATION/AIR CONDITIONING	WP WEATHERPROOF
HT HEIGHT	WT WEIGHT
IGR INTERIOR GROUND RING	

ABBREVIATIONS



5701 SOUTH SANTA FE DRIVE
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RFDS REV #: 4

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O	10/25/2022	ADDRESS UPDATE

A&E PROJECT NUMBER
2021.0030.0225

DISH WIRELESS, LLC.
PROJECT INFORMATION
MWMKE00246A
N64W24837 FREIHEIT CT.
SUSSEX, WI 53089

SHEET TITLE
LEGEND AND ABBREVIATIONS

SHEET NUMBER

GN-1

SIGN TYPES		
TYPE	COLOR	COLOR CODE PURPOSE
INFORMATION	GREEN	"INFORMATIONAL SIGN" TO NOTIFY OTHERS OF SITE OWNERSHIP & CONTACT NUMBER AND POTENTIAL RF EXPOSURE.
NOTICE	BLUE	"NOTICE BEYOND THIS POINT" RF FIELDS BEYOND THIS POINT MAY EXCEED THE FCC GENERAL PUBLIC EXPOSURE LIMIT. OBEY ALL POSTED SIGNS AND SITE GUIDELINES FOR WORKING IN RF ENVIRONMENTS. IN ACCORDANCE WITH FEDERAL COMMUNICATIONS COMMISSION RULES ON RADIO FREQUENCY EMISSIONS 47 CFR-1.1307(b)
CAUTION	YELLOW	"CAUTION BEYOND THIS POINT" RF FIELDS BEYOND THIS POINT MAY EXCEED THE FCC GENERAL PUBLIC EXPOSURE LIMIT. OBEY ALL POSTED SIGNS AND SITE GUIDELINES FOR WORKING IN RF ENVIRONMENTS. IN ACCORDANCE WITH FEDERAL COMMUNICATIONS COMMISSION RULES ON RADIO FREQUENCY EMISSIONS 47 CFR-1.1307(b)
WARNING	ORANGE/RED	"WARNING BEYOND THIS POINT" RF FIELDS AT THIS SITE EXCEED FCC RULES FOR HUMAN EXPOSURE. FAILURE TO OBEY ALL POSTED SIGNS AND SITE GUIDELINES FOR WORKING IN RF ENVIRONMENTS COULD RESULT IN SERIOUS INJURY. IN ACCORDANCE WITH FEDERAL COMMUNICATIONS COMMISSION RULES ON RADIO FREQUENCY EMISSIONS 47 CFR-1.1307(b)

SIGN PLACEMENT:

- RF SIGNAGE PLACEMENT SHALL FOLLOW THE RECOMMENDATIONS OF AN EXISTING EME REPORT, CREATED BY A THIRD PARTY PREVIOUSLY AUTHORIZED BY DISH Wireless L.L.C.
- INFORMATION SIGN (GREEN) SHALL BE LOCATED ON EXISTING DISH Wireless L.L.C. EQUIPMENT.
A) IF THE INFORMATION SIGN IS A STICKER, IT SHALL BE PLACED ON EXISTING DISH Wireless L.L.C. EQUIPMENT CABINET.
B) IF THE INFORMATION SIGN IS A METAL SIGN IT SHALL BE PLACED ON EXISTING DISH Wireless L.L.C. H-FRAME WITH A SECURE ATTACH METHOD.
- IF EME REPORT IS NOT AVAILABLE AT THE TIME OF CREATION OF CONSTRUCTION DOCUMENTS; PLEASE CONTACT DISH Wireless L.L.C. CONSTRUCTION MANAGER FOR FURTHER INSTRUCTION ON HOW TO PROCEED.

NOTES:

1. FOR DISH Wireless L.L.C. LOGO, SEE DISH Wireless L.L.C. DESIGN SPECIFICATIONS (PROVIDED BY DISH Wireless L.L.C.)
2. SITE ID SHALL BE APPLIED TO SIGNS USING "LASER ENGRAVING" OR ANY OTHER WEATHER RESISTANT METHOD (DISH Wireless L.L.C. APPROVAL REQUIRED)
3. TEXT FOR SIGNAGE SHALL INDICATE CORRECT SITE NAME AND NUMBER AS PER DISH Wireless L.L.C. CONSTRUCTION MANAGER RECOMMENDATIONS.
4. CABINET/SHELTER MOUNTING APPLICATION REQUIRES ANOTHER PLATE APPLIED TO THE FACE OF THE CABINET WITH WATER PROOF POLYURETHANE ADHESIVE
5. ALL SIGNS WILL BE SECURED WITH EITHER STAINLESS STEEL ZIP TIES OR STAINLESS STEEL TECH SCREWS
6. ALL SIGNS TO BE 8.5"x11" AND MADE WITH 0.04" OF ALUMINUM MATERIAL

INFORMATION

This is an access point to an area with transmitting antennas.

Obey all signs and barriers beyond this point.
Call the DISH Wireless L.L.C. NOC at 1-866-624-6874

Site ID: _____



THIS SIGN IS FOR REFERENCE PURPOSES ONLY



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RFDS REV #: _____ 4

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A&E PROJECT NUMBER
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DISH WIRELESS, LLC.
PROJECT INFORMATION
MWMKE00246A
N64W24837 FREIHEIT CT.
SUSSEX, WI 53089

SHEET TITLE
RF SIGNAGE

SHEET NUMBER
GN-2

NOTICE



Transmitting Antenna(s)

Radio frequency fields beyond this point **MAY EXCEED** the FCC Occupational exposure limit.

Obey all posted signs and site guidelines for working in radio frequency environments.

Call the DISH Wireless L.L.C. NOC at 1-866-624-6874 prior to working beyond this point.

Site ID: _____



THIS SIGN IS FOR REFERENCE PURPOSES ONLY

CAUTION



Transmitting Antenna(s)

Radio frequency fields beyond this point **MAY EXCEED** the FCC Occupational exposure limit.

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Site ID: _____



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WARNING



Transmitting Antenna(s)

Radio frequency fields beyond this point **EXCEED** the FCC Occupational exposure limit.

Obey all posted signs and site guidelines for working in radio frequency environments.

Call the DISH Wireless L.L.C. NOC at 1-866-624-6874 prior to working beyond this point.

Site ID: _____



THIS SIGN IS FOR REFERENCE PURPOSES ONLY

SITE ACTIVITY REQUIREMENTS:

- NOTICE TO PROCEED – NO WORK SHALL COMMENCE PRIOR TO CONTRACTOR RECEIVING A WRITTEN NOTICE TO PROCEED (NTP) AND THE ISSUANCE OF A PURCHASE ORDER. PRIOR TO ACCESSING/ENTERING THE SITE YOU MUST CONTACT THE DISH WIRELESS, LLC. AND TOWER OWNER NOC & THE DISH WIRELESS, LLC. AND TOWER OWNER CONSTRUCTION MANAGER.
- "LOOK UP" – DISH WIRELESS, LLC. AND TOWER OWNER SAFETY CLIMB REQUIREMENT:
THE INTEGRITY OF THE SAFETY CLIMB AND ALL COMPONENTS OF THE CLIMBING FACILITY SHALL BE CONSIDERED DURING ALL STAGES OF DESIGN, INSTALLATION, AND INSPECTION. TOWER MODIFICATION, MOUNT REINFORCEMENTS, AND/OR EQUIPMENT INSTALLATIONS SHALL NOT COMPROMISE THE INTEGRITY OR FUNCTIONAL USE OF THE SAFETY CLIMB OR ANY COMPONENTS OF THE CLIMBING FACILITY ON THE STRUCTURE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: PINCHING OF THE WIRE ROPE, BENDING OF THE WIRE ROPE FROM ITS SUPPORTS, DIRECT CONTACT OR CLOSE PROXIMITY TO THE WIRE ROPE WHICH MAY CAUSE FRICTIONAL WEAR, IMPACT TO THE ANCHORAGE POINTS IN ANY WAY, OR TO IMPEDE/BLOCK ITS INTENDED USE. ANY COMPROMISED SAFETY CLIMB, INCLUDING EXISTING CONDITIONS MUST BE TAGGED OUT AND REPORTED TO YOUR DISH WIRELESS, LLC. AND DISH WIRELESS, LLC. AND TOWER OWNER POC OR CALL THE NOC TO GENERATE A SAFETY CLIMB MAINTENANCE AND CONTRACTOR NOTICE TICKET.
- PRIOR TO THE START OF CONSTRUCTION, ALL REQUIRED JURISDICTIONAL PERMITS SHALL BE OBTAINED. THIS INCLUDES, BUT IS NOT LIMITED TO, BUILDING, ELECTRICAL, MECHANICAL, FIRE, FLOOD ZONE, ENVIRONMENTAL, AND ZONING. AFTER ONSITE ACTIVITIES AND CONSTRUCTION ARE COMPLETED, ALL REQUIRED PERMITS SHALL BE SATISFIED AND CLOSED OUT ACCORDING TO LOCAL JURISDICTIONAL REQUIREMENTS.
- ALL CONSTRUCTION MEANS AND METHODS; INCLUDING BUT NOT LIMITED TO, ERECTION PLANS, RIGGING PLANS, CLIMBING PLANS, AND RESCUE PLANS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR RESPONSIBLE FOR THE EXECUTION OF THE WORK CONTAINED HEREIN, AND SHALL MEET ANSI/ASSE A10.48 (LATEST EDITION); FEDERAL, STATE, AND LOCAL REGULATIONS; AND ANY APPLICABLE INDUSTRY CONSENSUS STANDARDS RELATED TO THE CONSTRUCTION ACTIVITIES BEING PERFORMED. ALL RIGGING PLANS SHALL ADHERE TO ANSI/ASSE A10.48 (LATEST EDITION) AND DISH WIRELESS, LLC. AND TOWER OWNER STANDARDS, INCLUDING THE REQUIRED INVOLVEMENT OF A QUALIFIED ENGINEER FOR CLASS IV CONSTRUCTION, TO CERTIFY THE SUPPORTING STRUCTURE(S) IN ACCORDANCE WITH ANSI/TIA-322 (LATEST EDITION).
- ALL SITE WORK TO COMPLY WITH DISH WIRELESS, LLC. AND TOWER OWNER INSTALLATION STANDARDS FOR CONSTRUCTION ACTIVITIES ON DISH WIRELESS, LLC. AND TOWER OWNER TOWER SITE AND LATEST VERSION OF ANSI/TIA-1019-A-2012 "STANDARD FOR INSTALLATION, ALTERATION, AND MAINTENANCE OF ANTENNA SUPPORTING STRUCTURES AND ANTENNAS."
- IF THE SPECIFIED EQUIPMENT CAN NOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY DISH WIRELESS, LLC. AND TOWER OWNER PRIOR TO PROCEEDING WITH ANY SUCH CHANGE OF INSTALLATION.
- ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
- THE CONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES INCLUDING PRIVATE LOCATES SERVICES PRIOR TO THE START OF CONSTRUCTION.
- ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY CONTRACTOR. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR DRILLING PIERS AROUND OR NEAR UTILITIES. CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS WILL INCLUDE BUT NOT BE LIMITED TO A) FALL PROTECTION B) CONFINED SPACE C) ELECTRICAL SAFETY D) TRENCHING AND EXCAVATION E) CONSTRUCTION SAFETY PROCEDURES.
- ALL SITE WORK SHALL BE AS INDICATED ON THE STAMPED CONSTRUCTION DRAWINGS AND DISH PROJECT SPECIFICATIONS, LATEST APPROVED REVISION.
- CONTRACTOR SHALL KEEP THE SITE FREE FROM ACCUMULATING WASTE MATERIAL, DEBRIS, AND TRASH AT THE COMPLETION OF THE WORK. IF NECESSARY, RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
- ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF DISH WIRELESS, LLC. AND TOWER OWNER, AND/OR LOCAL UTILITIES.
- THE CONTRACTOR SHALL PROVIDE SITE SIGNAGE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATION FOR SITE SIGNAGE REQUIRED BY LOCAL JURISDICTION AND SIGNAGE REQUIRED ON INDIVIDUAL PIECES OF EQUIPMENT, ROOMS, AND SHELTERS.
- THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE CARRIER'S EQUIPMENT AND TOWER AREAS.
- THE SUB GRADE SHALL BE COMPACTED AND BROUGHT TO A SMOOTH UNIFORM GRADE PRIOR TO FINISHED SURFACE APPLICATION.
- THE AREAS OF THE OWNERS PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE TOWER, EQUIPMENT OR DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE, AND STABILIZED TO PREVENT EROSION AS SPECIFIED ON THE CONSTRUCTION DRAWINGS AND/OR PROJECT SPECIFICATIONS.
- CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL.
- THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF OWNER.
- CONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS AND RADIOS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.
- CONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION. TRASH AND DEBRIS SHOULD BE REMOVED FROM SITE ON A DAILY BASIS.
- NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND. FROZEN MATERIALS, SNOW OR ICE SHALL NOT

BE PLACED IN ANY FILL OR EMBANKMENT.

GENERAL NOTES:

- FOR THE PURPOSE OF CONSTRUCTION DRAWING, THE FOLLOWING DEFINITIONS SHALL APPLY:
CONTRACTOR: GENERAL CONTRACTOR RESPONSIBLE FOR CONSTRUCTION
CARRIER: DISH WIRELESS, LLC.
TOWER OWNER: SEE T-1 FOR TOWER OWNER INFO
- THESE DRAWINGS HAVE BEEN PREPARED USING STANDARDS OF PROFESSIONAL CARE AND COMPLETENESS NORMALLY EXERCISED UNDER SIMILAR CIRCUMSTANCES BY REPUTABLE ENGINEERS IN THIS OR SIMILAR LOCALITIES. IT IS ASSUMED THAT THE WORK DEPICTED WILL BE PERFORMED BY AN EXPERIENCED CONTRACTOR AND/OR WORKPEOPLE WHO HAVE A WORKING KNOWLEDGE OF THE APPLICABLE CODE STANDARDS AND REQUIREMENTS AND OF INDUSTRY ACCEPTED STANDARD GOOD PRACTICE. AS NOT EVERY CONDITION OR ELEMENT IS (OR CAN BE) EXPLICITLY SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL USE INDUSTRY ACCEPTED STANDARD GOOD PRACTICE FOR MISCELLANEOUS WORK NOT EXPLICITLY SHOWN.
- THESE DRAWINGS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE MEANS OR METHODS OF CONSTRUCTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY FOR PROTECTION OF LIFE AND PROPERTY DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, BRACING, FORMWORK, SHORING, ETC. SITE VISITS BY THE ENGINEER OR HIS REPRESENTATIVE WILL NOT INCLUDE INSPECTION OF THESE ITEMS AND IS FOR STRUCTURAL OBSERVATION OF THE FINISHED STRUCTURE ONLY.
- NOTES AND DETAILS IN THE CONSTRUCTION DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT, AND/OR AS PROVIDED FOR IN THE CONTRACT DOCUMENTS. WHERE DISCREPANCIES OCCUR BETWEEN PLANS, DETAILS, GENERAL NOTES, AND SPECIFICATIONS, THE GREATER, MORE STRICT REQUIREMENTS, SHALL GOVERN. IF FURTHER CLARIFICATION IS REQUIRED CONTACT THE ENGINEER OF RECORD.
- SUBSTANTIAL EFFORT HAS BEEN MADE TO PROVIDE ACCURATE DIMENSIONS AND MEASUREMENTS ON THE DRAWINGS TO ASSIST IN THE FABRICATION AND/OR PLACEMENT OF CONSTRUCTION ELEMENTS BUT IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE DIMENSIONS, MEASUREMENTS, AND/OR CLEARANCES SHOWN IN THE CONSTRUCTION DRAWINGS PRIOR TO FABRICATION OR CUTTING OF ANY NEW OR EXISTING CONSTRUCTION ELEMENTS. IF IT IS DETERMINED THAT THERE ARE DISCREPANCIES AND/OR CONFLICTS WITH THE CONSTRUCTION DRAWINGS THE ENGINEER OF RECORD IS TO BE NOTIFIED AS SOON AS POSSIBLE.
- PRIOR TO THE SUBMISSION OF BIDS, THE BIDDING CONTRACTOR SHALL VISIT THE CELL SITE TO FAMILIARIZE WITH THE EXISTING CONDITIONS AND TO CONFIRM THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN ON THE CONSTRUCTION DRAWINGS. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE ATTENTION OF CARRIER POC AND TOWER OWNER.
- ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
- UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
- IF THE SPECIFIED EQUIPMENT CAN NOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY THE CARRIER AND TOWER OWNER PRIOR TO PROCEEDING WITH ANY SUCH CHANGE OF INSTALLATION.
- CONTRACTOR IS TO PERFORM A SITE INVESTIGATION, BEFORE SUBMITTING BIDS, TO DETERMINE THE BEST ROUTING OF ALL CONDUITS FOR POWER, AND TELCO AND FOR GROUNDING CABLES AS SHOWN IN THE POWER, TELCO, AND GROUNDING PLAN DRAWINGS.
- THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF DISH WIRELESS, LLC. AND TOWER OWNER
- CONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.
- CONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION. TRASH AND DEBRIS SHOULD BE REMOVED FROM SITE ON A DAILY BASIS.



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PROJECT INFORMATION
MWMKE00246A
N64W24837 FREIHEIT CT.
SUSSEX, WI 53089

SHEET TITLE
GENERAL NOTES

SHEET NUMBER
GN-3

CONCRETE, FOUNDATIONS, AND REINFORCING STEEL:

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 336, ASTM A184, ASTM A185 AND THE DESIGN AND CONSTRUCTION SPECIFICATION FOR CAST-IN-PLACE CONCRETE.
2. UNLESS NOTED OTHERWISE, SOIL BEARING PRESSURE USED FOR DESIGN OF SLABS AND FOUNDATIONS IS ASSUMED TO BE 1000 psf.
3. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH (f'c) OF 3000 psi AT 28 DAYS, UNLESS NOTED OTHERWISE. NO MORE THAN 90 MINUTES SHALL ELAPSE FROM BATCH TIME TO TIME OF PLACEMENT UNLESS APPROVED BY THE ENGINEER OF RECORD. TEMPERATURE OF CONCRETE SHALL NOT EXCEED 90°F AT TIME OF PLACEMENT.
4. CONCRETE EXPOSED TO FREEZE-THAW CYCLES SHALL CONTAIN AIR ENTRAINING ADMIXTURES. AMOUNT OF AIR ENTRAINMENT TO BE BASED ON SIZE OF AGGREGATE AND F3 CLASS EXPOSURE (VERY SEVERE). CEMENT USED TO BE TYPE II PORTLAND CEMENT WITH A MAXIMUM WATER-TO-CEMENT RATIO (W/C) OF 0.45.
5. ALL STEEL REINFORCING SHALL CONFORM TO ASTM A615. ALL WELDED WIRE FABRIC (WWF) SHALL CONFORM TO ASTM A185. ALL SPLICES SHALL BE CLASS "B" TENSION SPLICES, UNLESS NOTED OTHERWISE. ALL HOOKS SHALL BE STANDARD 90 DEGREE HOOKS, UNLESS NOTED OTHERWISE. YIELD STRENGTH (Fy) OF STANDARD DEFORMED BARS ARE AS FOLLOWS:
 - #4 BARS AND SMALLER 40 ksi
 - #5 BARS AND LARGER 60 ksi
6. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE ON DRAWINGS:
 - CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH 3"
 - CONCRETE EXPOSED TO EARTH OR WEATHER:
 - #6 BARS AND LARGER 2"
 - #5 BARS AND SMALLER 1-1/2"
 - CONCRETE NOT EXPOSED TO EARTH OR WEATHER:
 - SLAB AND WALLS 3/4"
 - BEAMS AND COLUMNS 1-1/2"
7. A TOOLED EDGE OR A 3/4" CHAMFER SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE, UNLESS NOTED OTHERWISE, IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.

ELECTRICAL INSTALLATION NOTES:

1. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, NEC AND ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES/ORDINANCES.
2. CONDUIT ROUTINGS ARE SCHEMATIC. CONTRACTOR SHALL INSTALL CONDUITS SO THAT ACCESS TO EQUIPMENT IS NOT BLOCKED AND TRIP HAZARDS ARE ELIMINATED.
3. WIRING, RACEWAY AND SUPPORT METHODS AND MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE NEC.
4. ALL CIRCUITS SHALL BE SEGREGATED AND MAINTAIN MINIMUM CABLE SEPARATION AS REQUIRED BY THE NEC.
- 4.1. ALL EQUIPMENT SHALL BEAR THE UNDERWRITERS LABORATORIES LABEL OF APPROVAL, AND SHALL CONFORM TO REQUIREMENT OF THE NATIONAL ELECTRICAL CODE.
- 4.2. ALL OVERCURRENT DEVICES SHALL HAVE AN INTERRUPTING CURRENT RATING THAT SHALL BE GREATER THAN THE SHORT CIRCUIT CURRENT TO WHICH THEY ARE SUBJECTED, 22,000 AIC MINIMUM. VERIFY AVAILABLE SHORT CIRCUIT CURRENT DOES NOT EXCEED THE RATING OF ELECTRICAL EQUIPMENT IN ACCORDANCE WITH ARTICLE 110.24 NEC OR THE MOST CURRENT ADOPTED CODE PRE THE GOVERNING JURISDICTION.
5. EACH END OF EVERY POWER PHASE CONDUCTOR, GROUNDING CONDUCTOR, AND TELCO CONDUCTOR OR CABLE SHALL BE LABELED WITH COLOR-CODED INSULATION OR ELECTRICAL TAPE (3M BRAND, 1/2" PLASTIC ELECTRICAL TAPE WITH UV PROTECTION, OR EQUAL). THE IDENTIFICATION METHOD SHALL CONFORM WITH NEC AND OSHA.
6. ALL ELECTRICAL COMPONENTS SHALL BE CLEARLY LABELED WITH LAMICOID TAGS SHOWING THEIR RATED VOLTAGE, PHASE CONFIGURATION, WIRE CONFIGURATION, POWER OR AMPACITY RATING AND BRANCH CIRCUIT ID NUMBERS (i.e. PANEL BOARD AND CIRCUIT ID'S).
7. PANEL BOARDS (ID NUMBERS) SHALL BE CLEARLY LABELED WITH PLASTIC LABELS.
8. TIE WRAPS ARE NOT ALLOWED.
9. ALL POWER AND EQUIPMENT GROUND WIRING IN TUBING OR CONDUIT SHALL BE SINGLE COPPER CONDUCTOR (#14 OR LARGER) WITH TYPE THHW, THWN, THWN-2, XHHW, XHHW-2, THW, THW-2, RHW, OR RHW-2 INSULATION UNLESS OTHERWISE SPECIFIED.
10. SUPPLEMENTAL EQUIPMENT GROUND WIRING LOCATED INDOORS SHALL BE SINGLE COPPER CONDUCTOR (#6 OR LARGER) WITH TYPE THHW, THWN, THWN-2, XHHW, XHHW-2, THW, THW-2, RHW, OR RHW-2 INSULATION UNLESS OTHERWISE SPECIFIED.
11. POWER AND CONTROL WIRING IN FLEXIBLE CORD SHALL BE MULTI-CONDUCTOR, TYPE SOOW CORD (#14 OR LARGER) UNLESS OTHERWISE SPECIFIED.
12. POWER AND CONTROL WIRING FOR USE IN CABLE TRAY SHALL BE MULTI-CONDUCTOR, TYPE TC CABLE (#14 OR LARGER), WITH TYPE THHW, THWN, THWN-2, XHHW, XHHW-2, THW, THW-2, RHW, OR RHW-2 INSULATION UNLESS OTHERWISE SPECIFIED.
13. ALL POWER AND GROUNDING CONNECTIONS SHALL BE CRIMP-STYLE, COMPRESSION WIRE LUGS AND WIRE NUTS BY THOMAS AND BETTS (OR EQUAL). LUGS AND WIRE NUTS SHALL BE RATED FOR OPERATION NOT LESS THAN 75° C (90° C IF AVAILABLE).
14. RACEWAY AND CABLE TRAY SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEC AND NEC.
15. ELECTRICAL METALLIC TUBING (EMT), INTERMEDIATE METAL CONDUIT (IMC), OR RIGID METAL CONDUIT (RMC) SHALL BE USED FOR EXPOSED INDOOR LOCATIONS.

16. ELECTRICAL METALLIC TUBING (EMT) OR METAL-CLAD CABLE (MC) SHALL BE USED FOR CONCEALED INDOOR LOCATIONS.
17. SCHEDULE 40 PVC UNDERGROUND ON STRAIGHTS AND SCHEDULE 80 PVC FOR ALL ELBOWS/90s AND ALL APPROVED ABOVE GRADE PVC CONDUIT.
18. LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT (LIQUID-TITE FLEX) SHALL BE USED INDOORS AND OUTDOORS, WHERE VIBRATION OCCURS OR FLEXIBILITY IS NEEDED.
19. CONDUIT AND TUBING FITTINGS SHALL BE THREADED OR COMPRESSION-TYPE AND APPROVED FOR THE LOCATION USED. SET SCREW FITTINGS ARE NOT ACCEPTABLE.
20. CABINETS, BOXES AND WIRE WAYS SHALL BE LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEC AND THE NEC.
21. WIREWAYS SHALL BE METAL WITH AN ENAMEL FINISH AND INCLUDE A HINGED COVER, DESIGNED TO SWING OPEN DOWNWARDS (WIREMOLD SPECMATE WIREWAY).
22. SLOTTED WIRING DUCT SHALL BE PVC AND INCLUDE COVER (PANDUIT TYPE E OR EQUAL).
23. CONDUITS SHALL BE FASTENED SECURELY IN PLACE WITH APPROVED NON-PERFORATED STRAPS AND HANGERS. EXPLOSIVE DEVICES (i.e. POWDER-ACTUATED) FOR ATTACHING HANGERS TO STRUCTURE WILL NOT BE PERMITTED. CLOSELY FOLLOW THE LINES OF THE STRUCTURE, MAINTAIN CLOSE PROXIMITY TO THE STRUCTURE AND KEEP CONDUITS IN TIGHT ENVELOPES. CHANGES IN DIRECTION TO ROUTE AROUND OBSTACLES SHALL BE MADE WITH CONDUIT OUTLET BODIES. CONDUIT SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER. PARALLEL AND PERPENDICULAR TO STRUCTURE WALL AND CEILING LINES. ALL CONDUIT SHALL BE FISHED TO CLEAR OBSTRUCTIONS. ENDS OF CONDUITS SHALL BE TEMPORARILY CAPPED FLUSH TO FINISH GRADE TO PREVENT CONCRETE, PLASTER OR DIRT FROM ENTERING. CONDUITS SHALL BE RIGIDLY CLAMPED TO BOXES BY GALVANIZED MALLEABLE IRON BUSHING ON INSIDE AND GALVANIZED MALLEABLE IRON LOCKNUT ON OUTSIDE AND INSIDE.
24. EQUIPMENT CABINETS, TERMINAL BOXES, JUNCTION BOXES AND PULL BOXES SHALL BE GALVANIZED OR EPOXY-COATED SHEET STEEL. SHALL MEET OR EXCEED UL 50 AND BE RATED NEMA 1 (OR BETTER) FOR INTERIOR LOCATIONS AND NEMA 3 (OR BETTER) FOR EXTERIOR LOCATIONS.
25. METAL RECEPTACLE, SWITCH AND DEVICE BOXES SHALL BE GALVANIZED, EPOXY-COATED OR NON-CORRODING; SHALL MEET OR EXCEED UL 514A AND NEMA OS 1 AND BE RATED NEMA 1 (OR BETTER) FOR INTERIOR LOCATIONS AND WEATHER PROTECTED (WP OR BETTER) FOR EXTERIOR LOCATIONS.
26. NONMETALLIC RECEPTACLE, SWITCH AND DEVICE BOXES SHALL MEET OR EXCEED NEMA OS 2 (NEWEST REVISION) AND BE RATED NEMA 1 (OR BETTER) FOR INTERIOR LOCATIONS AND WEATHER PROTECTED (WP OR BETTER) FOR EXTERIOR LOCATIONS.
27. THE CONTRACTOR SHALL NOTIFY AND OBTAIN NECESSARY AUTHORIZATION FROM THE CARRIER AND/OR DISH WIRELESS, LLC. AND TOWER OWNER BEFORE COMMENCING WORK ON THE AC POWER DISTRIBUTION PANELS.
28. THE CONTRACTOR SHALL PROVIDE NECESSARY TAGGING ON THE BREAKERS, CABLES AND DISTRIBUTION PANELS IN ACCORDANCE WITH THE APPLICABLE CODES AND STANDARDS TO SAFEGUARD LIFE AND PROPERTY.
29. INSTALL LAMICOID LABEL ON THE METER CENTER TO SHOW "DISH WIRELESS, LLC."
30. ALL EMPTY/SPARE CONDUITS THAT ARE INSTALLED ARE TO HAVE A METERED MULE TAPE PULL CORD INSTALLED.



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LITTLETON, CO 80120



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www.FullertonEngineering.com

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DRAWN BY:	CHECKED BY:	APPROVED BY:
MS	DZ	DS

RFDS REV #: 4

PERMITTING DOCUMENTS

SUBMITTALS		
REV	DATE	DESCRIPTION
A	08/27/2021	ISSUED FOR REVIEW
B	02/15/2022	REVISION
C	04/28/2022	REVISION
D	07/08/2022	REVISION
E	09/16/2022	REVISION
O	10/04/2022	ISSUED FOR PERMITTING
O	10/25/2022	ADDRESS UPDATE

A&E PROJECT NUMBER
2021.0030.0225

DISH WIRELESS, LLC.
PROJECT INFORMATION
MWMKE00246A
N64W24837 FREIHEIT CT.
SUSSEX, WI 53089

SHEET TITLE
GENERAL NOTES

SHEET NUMBER
GN-4

GROUNDING NOTES:

1. ALL GROUND ELECTRODE SYSTEMS (INCLUDING TELECOMMUNICATION, RADIO, LIGHTNING PROTECTION AND AC POWER GES'S) SHALL BE BONDED TOGETHER AT OR BELOW GRADE, BY TWO OR MORE COPPER BONDING CONDUCTORS IN ACCORDANCE WITH THE NEC.
2. THE CONTRACTOR SHALL PERFORM IEEE FALL-OF-POTENTIAL RESISTANCE TO EARTH TESTING (PER IEEE 1100 AND 81) FOR GROUND ELECTRODE SYSTEMS, THE CONTRACTOR SHALL FURNISH AND INSTALL SUPPLEMENTAL GROUND ELECTRODES AS NEEDED TO ACHIEVE A TEST RESULT OF 5 OHMS OR LESS.
3. THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY SEQUENCING GROUNDING AND UNDERGROUND CONDUIT INSTALLATION AS TO PREVENT ANY LOSS OF CONTINUITY IN THE GROUNDING SYSTEM OR DAMAGE TO THE CONDUIT AND PROVIDE TESTING RESULTS.
4. METAL CONDUIT AND TRAY SHALL BE GROUNDED AND MADE ELECTRICALLY CONTINUOUS WITH LISTED BONDING FITTINGS OR BY BONDING ACROSS THE DISCONTINUITY WITH #6 COPPER WIRE UL APPROVED GROUNDING TYPE CONDUIT CLAMPS.
5. METAL RACEWAY SHALL NOT BE USED AS THE NEC REQUIRED EQUIPMENT GROUND CONDUCTOR. STRANDED COPPER CONDUCTORS WITH GREEN INSULATION, SIZED IN ACCORDANCE WITH THE NEC, SHALL BE FURNISHED AND INSTALLED WITH THE POWER CIRCUITS TO BTS EQUIPMENT.
6. EACH CABINET FRAME SHALL BE DIRECTLY CONNECTED TO THE MASTER GROUND BAR WITH GREEN INSULATED SUPPLEMENTAL EQUIPMENT GROUND WIRES, #6 STRANDED COPPER OR LARGER FOR INDOOR BTS; #2 BARE SOLID TINNED COPPER FOR OUTDOOR BTS.
7. CONNECTIONS TO THE GROUND BUS SHALL NOT BE DOUBLED UP OR STACKED BACK TO BACK CONNECTIONS ON OPPOSITE SIDE OF THE GROUND BUS ARE PERMITTED.
8. ALL EXTERIOR GROUND CONDUCTORS BETWEEN EQUIPMENT/GROUND BARS AND THE GROUND RING SHALL BE #2 SOLID TINNED COPPER UNLESS OTHERWISE INDICATED.
9. ALUMINUM CONDUCTOR OR COPPER CLAD STEEL CONDUCTOR SHALL NOT BE USED FOR GROUNDING CONNECTIONS.
10. USE OF 90° BENDS IN THE PROTECTION GROUNDING CONDUCTORS SHALL BE AVOIDED WHEN 45° BENDS CAN BE ADEQUATELY SUPPORTED.
11. EXOTHERMIC WELDS SHALL BE USED FOR ALL GROUNDING CONNECTIONS BELOW GRADE.
12. ALL GROUND CONNECTIONS ABOVE GRADE (INTERIOR AND EXTERIOR) SHALL BE FORMED USING HIGH PRESS CRIMPS.
13. COMPRESSION GROUND CONNECTIONS MAY BE REPLACED BY EXOTHERMIC WELD CONNECTIONS.
14. ICE BRIDGE BONDING CONDUCTORS SHALL BE EXOTHERMICALLY BONDED OR BOLTED TO THE BRIDGE AND THE TOWER GROUND BAR.
15. APPROVED ANTIOXIDANT COATINGS (i.e. CONDUCTIVE GEL OR PASTE) SHALL BE USED ON ALL COMPRESSION AND BOLTED GROUND CONNECTIONS.
16. ALL EXTERIOR GROUND CONNECTIONS SHALL BE COATED WITH A CORROSION RESISTANT MATERIAL.
17. MISCELLANEOUS ELECTRICAL AND NON-ELECTRICAL METAL BOXES, FRAMES AND SUPPORTS SHALL BE BONDED TO THE GROUND RING, IN ACCORDANCE WITH THE NEC.
18. BOND ALL METALLIC OBJECTS WITHIN 6 ft OF MAIN GROUND RING WITH (1) #2 BARE SOLID TINNED COPPER GROUND CONDUCTOR.
19. GROUND CONDUCTORS USED FOR THE FACILITY GROUNDING AND LIGHTNING PROTECTION SYSTEMS SHALL NOT BE ROUTED THROUGH METALLIC OBJECTS THAT FORM A RING AROUND THE CONDUCTOR, SUCH AS METALLIC CONDUITS, METAL SUPPORT CLIPS OR SLEEVES THROUGH WALLS OR FLOORS. WHEN IT IS REQUIRED TO BE HOUSED IN CONDUIT TO MEET CODE REQUIREMENTS OR LOCAL CONDITIONS, NON-METALLIC MATERIAL SUCH AS PVC CONDUIT SHALL BE USED. WHERE USE OF METAL CONDUIT IS UNAVOIDABLE (i.e., NONMETALLIC CONDUIT PROHIBITED BY LOCAL CODE) THE GROUND CONDUCTOR SHALL BE BONDED TO EACH END OF THE METAL CONDUIT.
20. ALL GROUNDS THAT TRANSITION FROM BELOW GRADE TO ABOVE GRADE MUST BE #2 BARE SOLID TINNED COPPER IN 3/4" NON-METALLIC, FLEXIBLE CONDUIT FROM 24" BELOW GRADE TO WITHIN 3" TO 6" OF CAD-WELD TERMINATION POINT. THE EXPOSED END OF THE CONDUIT MUST BE SEALED WITH SILICONE CAULK. (ADD TRANSITIONING GROUND STANDARD DETAIL AS WELL).
21. BUILDINGS WHERE THE MAIN GROUNDING CONDUCTORS ARE REQUIRED TO BE ROUTED TO GRADE, THE CONTRACTOR SHALL ROUTE TWO GROUNDING CONDUCTORS FROM THE ROOFTOP, TOWERS, AND WATER TOWERS GROUNDING RING, TO THE EXISTING GROUNDING SYSTEM, THE GROUNDING CONDUCTORS SHALL NOT BE SMALLER THAN 2/0 COPPER. ROOFTOP GROUNDING RING SHALL BE BONDED TO THE EXISTING GROUNDING SYSTEM, THE BUILDING STEEL COLUMNS, LIGHTNING PROTECTION SYSTEM, AND BUILDING MAIN WATER LINE (FERROUS OR NONFERROUS METAL PIPING ONLY). DO NOT ATTACH GROUNDING TO FIRE SPRINKLER SYSTEM PIPES.



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DRAWN BY:	CHECKED BY:	APPROVED BY:
MS	DZ	DS

RFDS REV #: 4

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O	10/25/2022	ADDRESS UPDATE

A&E PROJECT NUMBER
2021.0030.0225

DISH WIRELESS, LLC.
PROJECT INFORMATION

MWMKE00246A
N64W24837 FREIHEIT CT.
SUSSEX, WI 53089

SHEET TITLE
GENERAL NOTES

SHEET NUMBER
GN-5



November 9, 2022

Village of Sussex
ATTN: Gabe Gilbertson
N64 W23760 Main Street
Sussex, WI 53089

Re: DISH Wireless Installation – MWMKE00246A – N64W24837 Freiheit Court

Mr. Gilbertson,

Fullerton, on behalf of DISH Wireless, is requesting approvals to install (3) antennas, (6) radios, antenna mount platform, and cabling to an existing telecommunication tower site. Within the leased area on the ground they would like to install an ice bridge, a 5' x 7' metal platform, and to install on that platform (1) site support cabinet. All the proposed work would take place at the telecommunications tower site located at S93 N64W24837 Freiheit Court.

This is a narrative as to why the request is not a substantial increase according to the Wisconsin Statute under 66.0404 that regulates Mobile Tower Siting Regulations. Per the following items, this DISH Wireless Collocation project does not qualify as a substantial increase.

1. For structures with an overall height of 200 feet or less, increases the overall height of the structure by more than 20 feet.

The proposed scope of work will not cause an increase in the height of the tower. Nor will the installation of antennas will take place on the centerline of 90' cause an increase in the height of the tower.

2. For structures with an overall height of more than 200 feet, increases the overall height of the structure by 10 percent or more.

The tower is 120'. The proposed scope of work will not cause an increase in the height of the tower.

3. Measured at the level of the appurtenance added to the structure as a result of the modification, increases the width of the support structure by 20 feet or more, unless a larger area is necessary for collocation.66.0404(1)(s)4.

The proposed scope of work will not cause an increase in the width of the tower by 20 feet or more. The antenna mount platform will only extend from the tower at a width of around 3'. To reference the measurements, please see page A-2 of the Elevations, Antenna Layout and Schedule for scale.

4. Increases the square footage of an existing equipment compound to a total area of more than 2,500 square feet.

The installation of a 5'x7' steel platform and an ice bridge will not cause an increase in total area of the existing fenced in compound.

Please contact me at astouder@fullertonengineering.com or 574-849-8420 if you have questions. Thank you very much in advance.

Sincerely,

Ariel Stouder

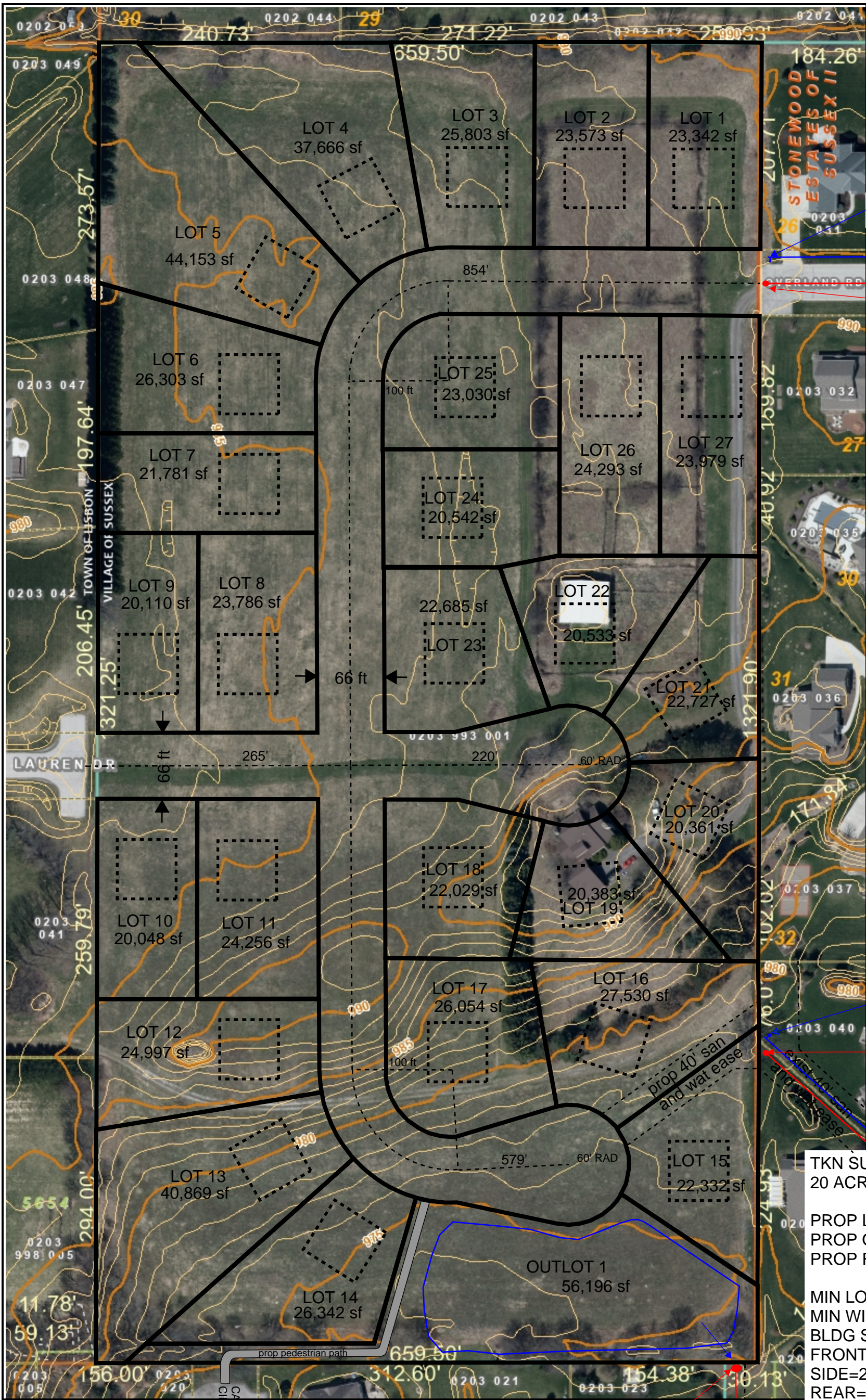
Ariel Stouder

Senior Zoning & Permitting Specialist

Fullerton Engineering

574-849-8420

astouder@fullertonengineering.com



- Legend**
- DNR Wetlands <
 - DNR Wetlands >
 - Wetlands (2000 I)
 - Drainage Ditch
 - Environmental C
 - Water
 - Primary Env. Co
 - Secondary Env.
 - Secondary Env.
 - FFMA Floodplain
 - AE, Floodway
 - Intermediate Cor
 - Intermediate Cor
 - Intermediate Dep
 - Index Contours
 - Index Contour
 - Index Depression
 - Municipal Bound
 - Parcel_Dimensio
 - Note_Text_2K
 - Lots_2K
 - Lot
 - Unit
 - General Commo
 - Outlot
 - SimultaneousCor
 - Assessor Plat
 - CSM
 - Condominium
 - Subdivision
 - Cartoline_2K
 - EA-Easement_L
 - PL-DA
 - PL-Extended_Tie
 - PL-Meander_Lin
 - PL-Note
 - PL-Tie
 - PL-Tie_Line
 - <all other values
 - Railroad_2K

8" PLUG=982.33 (PLAN)

SAN R=989.20 8"=979.25 (PLAN)

8" PLUG=971.00 (PLAN)

SAN R=978.4 8"=965.25 (PLAN)

prop 40' san and wat ease

TKN SUXV 0203993001
20 ACRES +/-

PROP LOTS = 27
PROP OUTLOTS = 1
PROP ROAD = 1918 LF

MIN LOT SIZE = 20,000 SF
MIN WIDTH = 100' AT
BLDG SETBACK (40')
FRONT=40'
SIDE=20'
REAR=25'



The information and depictions herein are for informational purposes and Waukesha County specifically disclaims accuracy in this re specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Waukesha County will not be responsible for any damages which result from third party use of the information and depictions herein, or for use which ignores this warning.

STM INLET
R=974.50
18"S=969.00 (PLAN)

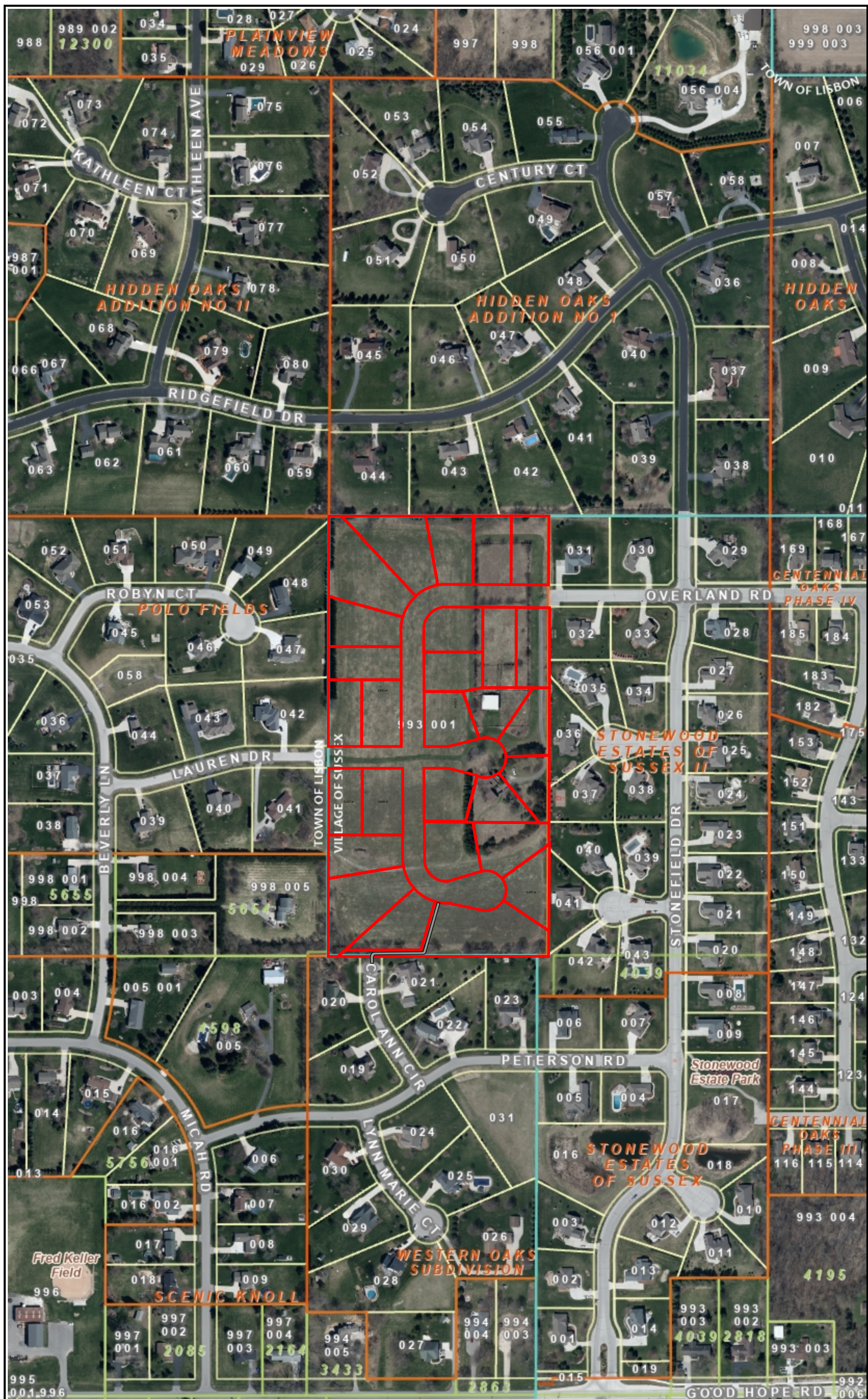
exist 20' storm ease



Printed: 10/28/2022

CONCEPT PLAN 5
12/10/2022

PEG# 3042.00-WI



Legend

- Municipal Bound
- Lots_2K**
- Lot
- Unit
- General Commo
- Outlot
- SimultaneousCor**
- Assessor Plat
- CSM
- Condominium
- Subdivision
- Cartoline_2K**
- EA-Easement_L
- PL-DA
- PL-Extended_Tri
- PL-Meander_Lin
- PL-Note
- PL-Tie
- PL-Tie_Line
- <all other values
- Railroad_2K**

0 300.00 Feet

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Printed: 12/12/2022

Notes:

**CONCEPT PLAN 5
AREA MAP
12/10/2022**

PEG# 3042.00-WI



4100 N. CALHOUN ROAD
SUITE 300
BROOKFIELD, WI 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: info@trioeng.com

S.T.H. "164"

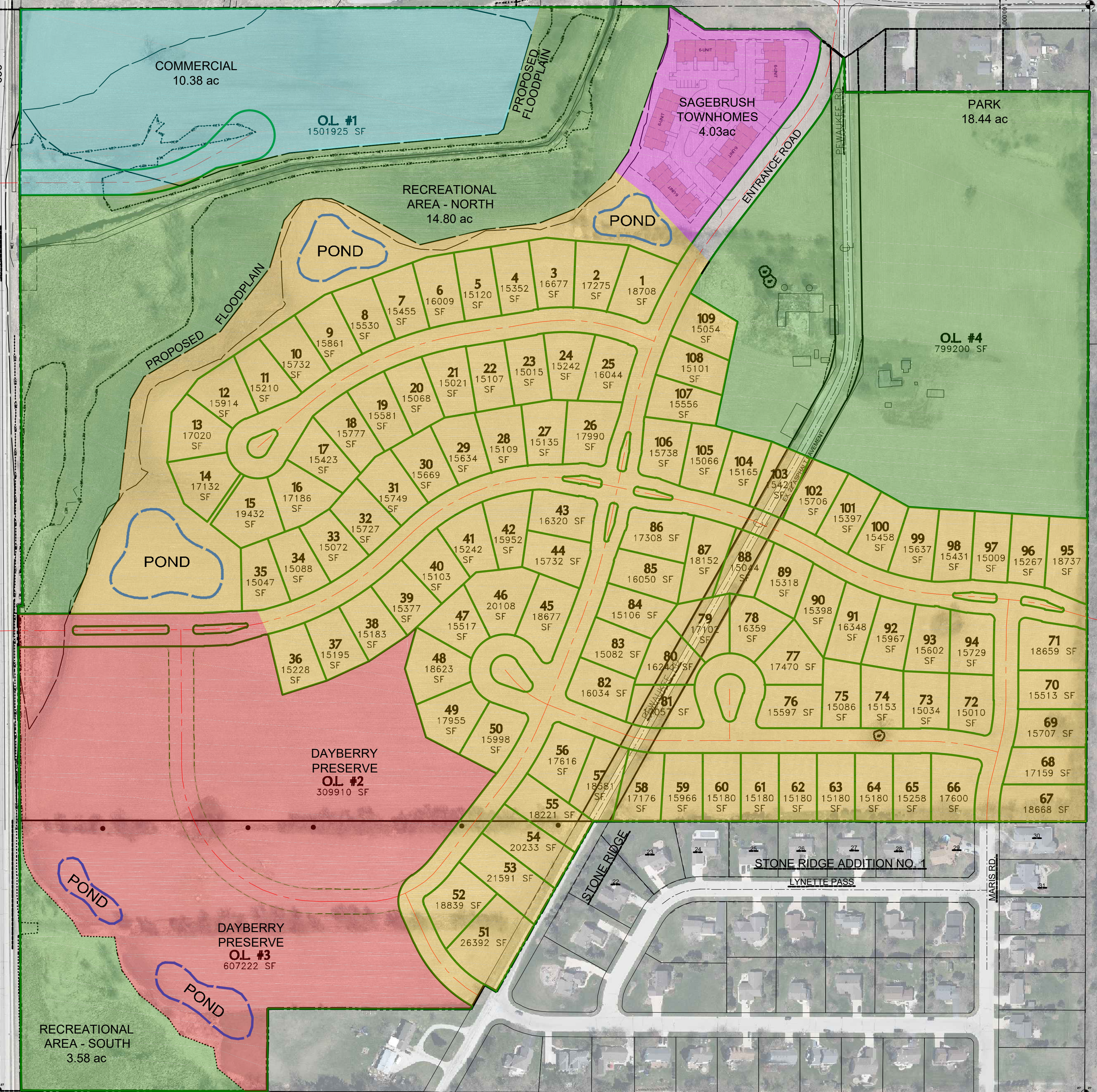
S.T.H. "74"

CONCEPT PLAN

"Wildflower"

STH164 VILLAGE OF SUSSEX, WI

Proposed Development by:
JBj Companies, Inc.



SITE DATA TABLE	
TOTAL PROJECT AREA	128.93 acres
PROPOSED LAND USES	
Park	18.44 acres
Floodplain Open Space & Recreational Area	
- North	14.80 acres
- South	3.58 acres
Commercial	10.38 acres
Sagebrush Townhomes	4.03 acres
Dayberry Preserve (Single Family Attached)	23.58 acres
Wildflower Subdivision (Single-Family)	
15,000 sf - 90' wide -109 lots	54.13 acres

	Sagebrush Townhomes
	Wildflower Subdivision (Single-Family)
	Dayberry Preserve (Single Family Attached)
	Park/Recreational
	Commercial

NORTH

Scale: 1" = 150' (22"x34")
Scale: 1" = 300' (11"x17")
DATE: 11/30/2022

X:\2020\20-034-014 WILDFLOWER DEVELOPMENT\DRAWINGS\CONCEPTS\CONCEPT PLAN WILDFLOWER FARMS_2022-11-30.DWG

SW. COR. OF THE NW 14
SEC. 27-8-19
CONC. MON. W/ BRASS CAP

SE. COR. OF THE NW 14
SEC. 27-8-19
CONC. MON. W/ BRASS CAP

Wildflower

JBJ Companies Inc. is excited to announce Wildflower to the Village of Sussex. Wildflower is a 128.93 commercial and residential development. The Wildflower development includes 18.44 acres of Village Fireman's Park expansion, 10.38 acres of commercial development located adjacent to STH 164, 4.02 acres of townhomes just south of Main Street, 54.13 acres of single-family lots, 23.58 acres of single-family attached use, and 18.38 acres of floodplain open space and recreational lands.

Access To Wildflower

JBJ Companies have been working closely with the Wisconsin DOT, Waukesha County Highway Department, and the Village of Sussex to satisfy the requirements of all agencies. The access breaks down as follows.

North -STH 74 and Pewaukee Road:

At the intersection of STH 74 and Pewaukee Road Waukesha County is requiring and has approved a traffic light to improve the failing level of service which exists today at the intersection.

West - STH 164 (commercial):

The Wisconsin DOT has approved a commercial public road as shown. This road will service the commercial lands only.

West - STH 164 (residential):

The Wisconsin DOT has approved a public road as shown. This road will line up with the existing median in STH 164. This east west road will also provide another park ingress/egress point at the west end of the park.

South:

Pewaukee Road will be modified to the proposed plan.

Maris Road will connect to Wildflower's Street system and provide a contiguous street system.

Wildflower Land Uses

This development plan took careful consideration to address the existing conditions from all directions. The result is an exciting plan we call Wildflower.

Village Park:

The Village Park expansion (18.44 acres) has been in planning for many years. The addition of this land will help meet the current and future needs of the Village of Sussex and will provide much needed land for the operations and continued long term success of the park.

Commercial Development:

The 10.38 acres of commercial land is located just north of the creek in the northwest corner of the development. This land will be serviced by a public cul du sac located on Hwy 164. The commercial land will be divided into lots to meet customer requirements.

Sagebrush Townhomes:

Sagebrush Townhomes is 4.03 acres and provides an alternative to single family housing. It will also provide a needed buffer between STHSTH 74 and the commercial development that exists on the north side of STHSTH 74. These units will offer two and three bedrooms, 2.5 bathrooms and a 2-car attached garage. The homes will range in size from 1,450 to 1,850 sq ft.

Wildflower (Single-Family Lots):

Wildflower Subdivision (54.13 acres) provides single-family lots which makes up the largest portion of the overall Wildflower development. 109 single-family lots are proposed down the spine of the development. The lot sizes are primally 15,000 sq. ft. with some as large as 23,000 sq. ft. The single-family lots back up to the new village park land as well as to the existing single-family homes to the south.

Dayberry Preserve (Single-Family Attached):

Dayberry Preserve 23.58 acres is located at the southwest end of the development. This area will provide 1-4 family home designs. Dayberry Preserve will provide another alternative to the Wildflower single-family housing. This area may contain some homes that will not have a basement due to the presence of shallow bed rock. These homes will range in size from 1,200 to 1,700 sq. ft.

Floodplain and Recreational Land:

Wildflower development offers over 18.38 acres of floodplain and recreational lands. These areas will be preserved as permanent open space. One of the main features included in this area is the Sussex Creek tributary which runs from Hwy 164 east through the property then north towards Hwy STH 74. The floodplain around the creek will be enhanced through a flood plain exchange which will allow for the commercial and residential development to remain outside of the flood plain.

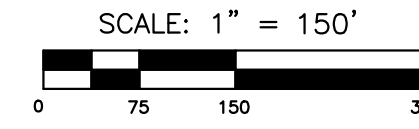
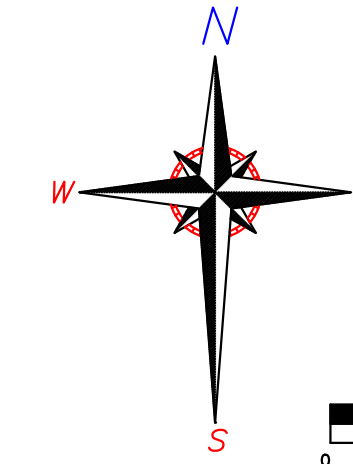
JBj Companies is excited to gain your support for this project.

VISTA RUN III

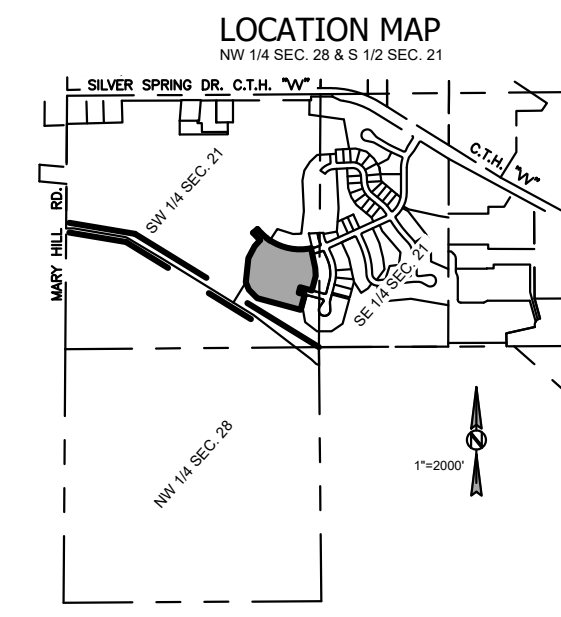
PART OF OUTLOT 1 OF VISTA RUN BEING A PART OF LOT 4 OF CERTIFIED SURVEY MAP NO. 12082 AND PART OF LOT 2 OF CERTIFIED SURVEY MAP NO. 12082 BEING A PART OF THE SE. 1/4 OF THE SW. 1/4 OF SECTION 21, T.8N., R.19E., VILLAGE OF SUSSEX, WAUKESHA COUNTY, WISCONSIN.

SURVEYOR:
KEITH A. KINDRED, PLS S-2082
SEH, INC.
501 MAPLE AVE.
DELAFIELD, WI 53018
(414) 949-8919
KKINDRED@SEHINC.COM

SURVEY FOR:
VISTA RUN, LLC
NEUMANN COMPANIES INC.
N27W24025 PAUL CT.
STE 100
PEWAUKEE, WI 53072
262-542-9200



OVERALL DETAIL



BEARINGS ARE REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD 1927) GRID NORTH ON THE EAST LINE OF THE SW 1/4 OF SECTION 21-8-19 AS S00°22'15"W.

DISTANCES ARE COMPUTED TO THE NEAREST 0.01' AND MEASURED TO THE NEAREST 0.01'

ANGLES ARE COMPUTED TO THE NEAREST 00°00'00.5" AND MEASURED TO THE NEAREST 00°00'05"

Public Easements (applies to all) -

- Permanent non-exclusive easements granted to the Village of Sussex ("Village") upon, within, and beneath the land identified on the plat for the various types of Public Easements. Easements shall run with the land and shall be binding upon and inure to the benefit of and be enforceable by the Village and its respective heirs, personal representatives, successors and assigns.
- Trees, bushes, branches and roots may be trimmed or removed so as not to interfere with the Village's use of the easement area.
- The Village of Sussex is not responsible for the mowing of any easement areas, but has the right to mow and/or remove vegetation at its sole discretion.
- Access - The land owner agrees that the Village and its employees, agents, and independent contractors shall have the right to enter upon the easement area for the purpose of exercising its rights in the easement area.
- Buildings and other Structures - The land owner agrees that no structures will be erected in the easement area, or in such close proximity to the facilities, such as to prevent the Village from exercising its rights under this easement.
- Elevation - The land owner agrees that the elevation of the existing ground surface within the easement area will not be altered by more than four (4) inches without the written consent of the Village.
- Restoration - The Village agrees to restore or cause to have restored the land owner's land to grade and replace sod or grass disturbed. This restoration, however, does not apply to the initial installation or to any trees, bushes, branches, or roots which may interfere with the Village's use of the easement area.
- Exercise of Rights - It is agreed that the complete exercise of rights herein conveyed may be gradual and not fully exercised until some time in the future, and that none of the rights herein shall be lost by non-use.

Public Storm Sewer and Public Drainage Easements:

- Install, operate, maintain, and replace above ground and underground storm sewer facilities, together with all necessary and appurtenant equipment under and above the ground as deemed necessary by the Village, all to transmit or store storm water.
- Surface storm water conveyance.

Public Sidewalk or Path Easements:

- Construct, maintain, repair, and replace pedestrian sidewalks in the sidewalk easements and path in the access easements depicted on the final plat.
- The general public shall have the right to traverse the Public Sidewalk Easement area for use as a public sidewalk and path.

Public Water Main Easements:

- Construct, operate, maintain, and replace above ground and underground water utility facilities, together with all necessary and appurtenant equipment under and above the ground as deemed necessary by the Village, all to transmit Municipal water.

Private Easements:

- Private easements are granted to the lot owners of Vista Run III and Vista Run II, Lots 37-41.

Private Drainage Easements:

- Private Drainage Easements granted to the Owners of the Lots within this Subdivision are established to provide for the unobstructed flow of Stormwater runoff from adjacent and upstream properties. No trees, bushes, fences, or structures of any kind may be placed within the private drainage easements. Owners of Lots on which these Private Drainage Easements exist shall be responsible for keeping these areas free of any obstructions and grade alterations that may restrict or divert this flow. The grades within the drainage easements must be in substantial compliance with the approved grading plan for the Subdivision.

Private Landscape Easements:

The Landscape Easements are granted to each individual Lot Owner or Condominium Owner within this subdivision, each individual Lot or Condominium Owner of any previous additions, and each individual Lot or Condominium Owners within any future addition to this Subdivision. This does not include Outlots granted to the Village of Sussex. The Owners of the Lots and Condominium Owners shall be liable for an equal undivided fractional share of the cost to repair, maintain or restore the easement areas. Said repairs, maintenance and restoration shall be performed by the Owners of all Lots and Condominiums within this Subdivision, the Lot and Condominium Owners of any previous additions and the Owners of any Lots or Condominiums within any future addition to this Subdivision.

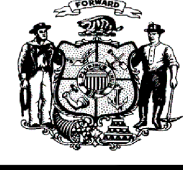
LEGEND

- 2.375" O.D. IRON PIPE SET, 18" LONG, WT. = 3.65 LBS./LIN. FT. 11/16" REBAR, 18" LONG, WT. = 1.13 LBS./LIN. FT. SET AT ALL OTHER LOT & OUTLOT CORNERS
- ⊕ CONCRETE MONUMENT W/ BRASS CAP FOUND
- ⊙ 2" IRON PIPE FOUND (UNLESS OTHERWISE STATED)
- VCE VISION CORNER EASEMENT

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____

Department of Administration



DATED THIS 9TH DAY OF NOVEMBER, 2022
DATED THIS 18TH DAY OF OCTOBER, 2022
DATED THIS 7th DAY OF OCTOBER, 2022
DATED THIS 23RD DAY OF SEPTEMBER, 2022

SEH
PHONE: 414.949.8962
501 MAPLE AVENUE
DELAFIELD, WI 53018-9351
www.sehinc.com

PROJECT NEUMA #149103

THIS INSTRUMENT DRAFTED BY DAPHNE WILLIAMS

SHEET 1 OF 4

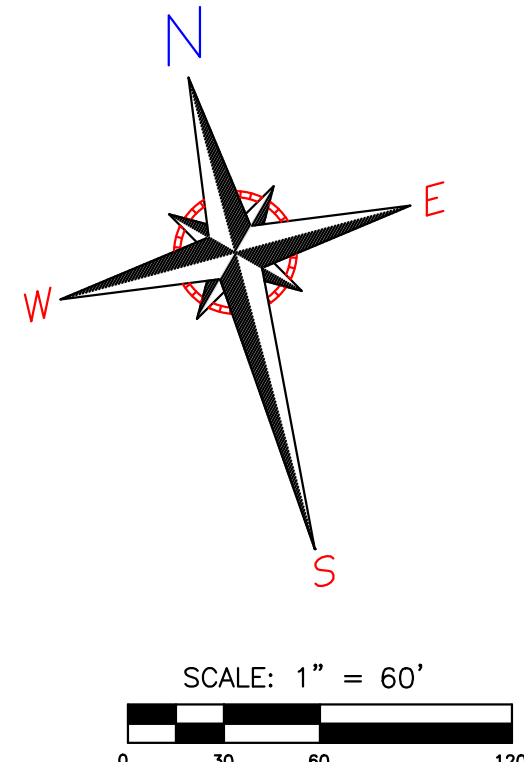
VISTA RUN III

PART OF OUTLOT 1 OF VISTA RUN BEING A PART OF LOT 4 OF CERTIFIED SURVEY MAP NO. 12082 AND PART OF LOT 2 OF CERTIFIED SURVEY MAP NO. 12082 BEING A PART OF THE SE. 1/4 OF THE SW. 1/4 OF SECTION 21, T.8N., R.19E., VILLAGE OF SUSSEX, WAUKESHA COUNTY, WISCONSIN.

LOT DETAIL

LEGEND

- 2.375" O.D. IRON PIPE SET, 18" LONG, WT. = 3.65 LBS./LIN. FT. 11/16" REBAR, 18" LONG, WT. = 1.13 LBS./LIN. FT. SET AT ALL OTHER LOT & OUTLOT CORNERS
- ⊕ CONCRETE MONUMENT W/ BRASS CAP FOUND
- ⊙ 2" IRON PIPE FOUND (UNLESS OTHERWISE STATED)
- VCE VISION CORNER EASEMENT



SURVEY FOR:
VISTA RUN, LLC
NEUMANN COMPANIES INC.
N27W24025 PAUL CT.
STE 100
PEWAUKEE, WI 53072
262-542-9200

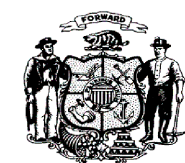
SURVEYOR:
KEITH A. KINDRED, PLS S-2082
SEH, INC.
501 MAPLE AVE.
DELAFIELD, WI 53018
(414) 949-8919
KKINDRED@SEHINC.COM

DATED THIS 9TH DAY OF NOVEMBER, 2022
DATED THIS 18TH DAY OF OCTOBER, 2022
DATED THIS 7th DAY OF OCTOBER, 2022
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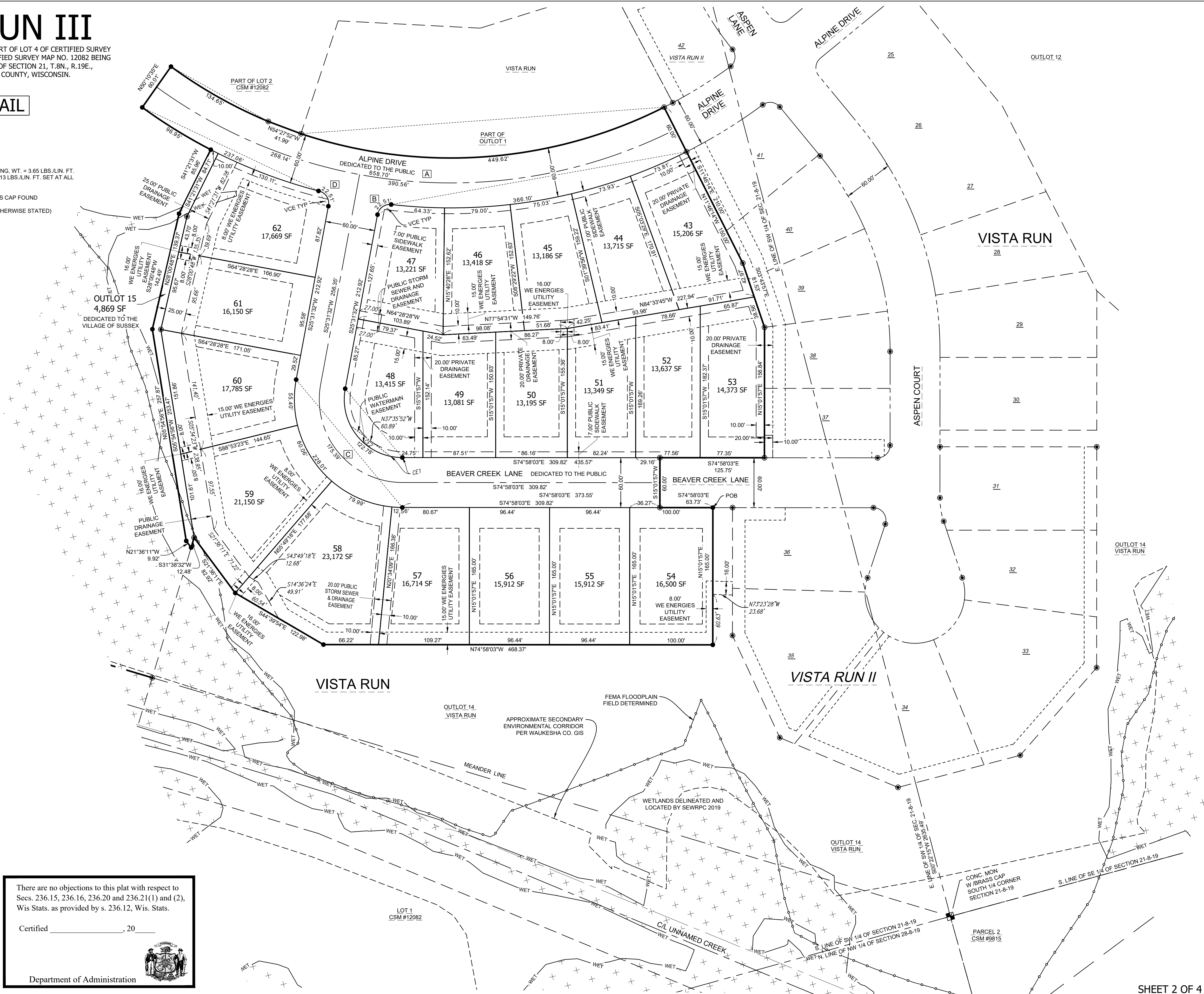
There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20__

Department of Administration



SEH
PHONE: 414.949.8962
501 MAPLE AVENUE
DELAFIELD, WI 53018-9351
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PROJECT NEUMA #149103



VISTA RUN III

PART OF OUTLOT 1 OF VISTA RUN BEING A PART OF LOT 4 OF CERTIFIED SURVEY MAP NO. 12082 AND PART OF LOT 2 OF CERTIFIED SURVEY MAP NO. 12082 BEING A PART OF THE SE. 1/4 OF THE SW. 1/4 OF SECTION 21, T.8N., R.19E., VILLAGE OF SUSSEX, WAUKESHA COUNTY, WISCONSIN.

GENERAL NOTES:

- EACH INDIVIDUAL LOT OWNER SHALL HAVE AN UNDIVIDED FRACTIONAL OWNERSHIP IN OUTLOT 4 OF VISTA RUN AND OUTLOT 15 OF VISTA RUN III. WAUKESHA COUNTY SHALL NOT BE LIABLE FOR ANY FEES OR SPECIAL ASSESSMENTS IN THE EVENT THEY BECOME THE OWNER OF ANY LOT IN THE SUBDIVISION BY REASON OF TAX DELINQUENCY. THE INDIVIDUAL HOME OWNERS ARE RESPONSIBLE FOR MAINTENANCE OF SAID OUTLOT.
- LOTS 43 THROUGH 62 ARE ZONED RS-2 PUD. PLANNED DEVELOPMENT BELOW- ESTATE LOT-LOTS 54-62 RESIDENTIAL LOT-LOT 43-53
- ALL EASEMENTS ARE GRANTED TO THE VILLAGE OF SUSSEX UNLESS OTHERWISE STATED.
- NO POLES, PADS BOXES OR BURIED CABLES ARE TO BE PLACED SUCH THAT THE INSTALLATION WOULD DISTURB ANY SURVEY STAKE. THE DISTURBANCE OF A SURVEY STAKE BY ANYONE IS A VIOLATION OF SECTION 236.32 OF WISCONSIN STATUTES.
- THE SITE FALLS WITHIN ZONE X, AREA OF MINIMAL FLOODING PER FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 55133C0069G, EFFECTIVE DATE NOVEMBER 5, 2014.
- THE OVERALL AREA OF THIS PLAT IS 397,952 S.F. OR 9.14 AC.
- ALL ROADS WITHIN THE SUBDIVISION ARE DEDICATED TO THE PUBLIC.
- OUTLOT 15 GRANTED TO THE VILLAGE OF SUSSEX AND RESERVED FOR CONSTRUCTION OF PATH.

STORM WATER MANAGEMENT NOTES:

THERE ARE ONE OR MORE SEPARATE DOCUMENTS RECORDED ON THE PROPERTY TITLE THROUGH THE WAUKESHA COUNTY REGISTER OF DEEDS ENTITLED "STORM WATER MANAGEMENT PRACTICE MAINTENANCE AGREEMENT" ("MAINTENANCE AGREEMENT") THAT APPLY TO OUTLOT 2, OUTLOT 7, OUTLOT 11 AND OUTLOT 14 OF VISTA RUN. THE MAINTENANCE AGREEMENT SUBJECTS THIS SUBDIVISION PLAT, AND ALL LOT OWNERS THEREIN, TO COVENANTS, CONDITIONS AND RESTRICTIONS NECESSARY TO ENSURE THE LONG-TERM MAINTENANCE OF THE STORM WATER MANAGEMENT PRACTICE. THE AGREEMENT ALSO OUTLINES A PROCESS BY WHICH THE VILLAGE OF SUSSEX MAY LEVY AND COLLECT SPECIAL ASSESSMENTS OR CHARGES FOR ANY SERVICES THE COMMUNITY MIGHT PROVIDE RELATING TO ENFORCEMENT OF THE MAINTENANCE AGREEMENT.

IN ACCORDANCE WITH CHAPTER 14 - OF VILLAGE OF SUSSEX CODE OF ORDINANCES ("STORMWATER MANAGEMENT ORDINANCE"), THE STORM WATER PERMIT HOLDER IS RESPONSIBLE FOR CONSTRUCTING THE STORM WATER MANAGEMENT PRACTICES FOLLOWING PLANS APPROVED BY VILLAGE AND IS RESPONSIBLE FOR MAINTAINING THE STORM WATER PRACTICES UNTIL PERMIT TERMINATION BY THE VILLAGE. UPON TERMINATION OF THE STORM WATER PERMIT, THE OWNERS OF LOTS 1-30 OF VISTA RUN, THE OWNERS OF LOTS 31-42 OF VISTA RUN II AND THE OWNERS OF LOTS 43-62 OF VISTA RUN III SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE STORM WATER MANAGEMENT PRACTICES IN ACCORDANCE WITH THE MAINTENANCE AGREEMENT.

ALL SIDE AND REAR LOT LINES NOT REGULATED BY THE VILLAGE OF SUSSEX SHALL BE GRADED AND MAINTAINED IN COOPERATION WITH ADJUTING PROPERTY OWNERS SO AS TO NEITHER IMPEDE THE FLOW OF STORMWATER, NOR NEGATIVELY IMPACT ANY ADJUTING PROPERTY, WHILE ALSO ADHERING TO THE ESTABLISHED, APPROVED, AND ACCEPTED STORMWATER MANAGEMENT PLAN.

EASEMENTS

ALL LANDS WITHIN AREAS LABELED "DRAINAGE EASEMENT" ARE RESERVED FOR STORM WATER COLLECTION, CONVEYANCE, TREATMENT OR INFILTRATION. NO BUILDINGS OR OTHER STRUCTURES ARE ALLOWED IN THESE AREAS. NO GRADING OR FILLING IS ALLOWED IN THESE AREAS THAT MAY INTERRUPT STORM WATER FLOWS IN ANY WAY. THE MAINTENANCE AGREEMENT MAY CONTAIN SPECIFIC MAINTENANCE REQUIREMENTS FOR THESE AREAS. THE VILLAGE OF SUSSEX, OR THEIR DESIGNEE ARE AUTHORIZED ACCESS IN THESE AREAS FOR PURPOSES OF INSPECTING THE STORM WATER MANAGEMENT PRACTICES OR ENFORCING THE TERMS OF MAINTENANCE AGREEMENT.

WETLAND/FLOODPLAIN SECONDARY ENVIRONMENTAL CORRIDOR AREA PRESERVATION RESTRICTIONS

THOSE AREAS IDENTIFIED ON THIS SUBDIVISION PLAT AS WETLAND/FLOODPLAIN SECONDARY ENVIRONMENTAL CORRIDOR, SHALL BE SUBJECT TO THE FOLLOWING RESTRICTIONS:

- GRADING, FILLING AND REMOVAL OF TOPSOIL OR OTHER EARTHEN MATERIALS ARE PROHIBITED, UNLESS SPECIFICALLY AUTHORIZED BY THE MUNICIPALITY IN WHICH THIS LAND IS LOCATED, THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES AND THE ARMY CORPS OF ENGINEERS.
- THE REMOVAL OR DESTRUCTION OF ANY VEGETATIVE COVER, I.E., TREES, SHRUBS, GRASSES, ETC., IS PROHIBITED, WITH THE EXCEPTION THAT INVASIVE, DEAD, DISEASED, OR DYING VEGETATION MAY BE REMOVED, AT THE DISCRETION OF THE LANDOWNER AND SILVICULTURAL THINNING, UPON THE RECOMMENDATION OF A FORESTER OR NATURALIST, SHALL ALSO BE PERMITTED.
- GRAZING BY DOMESTICATED ANIMALS, I.E., HORSES, COWS, ETC., IS PROHIBITED.
- THE INTRODUCTION OF PLANT MATERIAL NOT INDIGENOUS TO THE EXISTING ENVIRONMENT IS PROHIBITED.
- PONDS ARE PROHIBITED UNLESS DESIGNED TO ENHANCE THE NATURAL ENVIRONMENT. PONDS THAT MAY BE PERMITTED ARE SUBJECT TO THE APPROVAL OF THE MUNICIPALITY IN WHICH THEY ARE LOCATED, THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES AND THE ARMY CORPS OF ENGINEERS.
- THE CONSTRUCTION OF BUILDINGS IS PROHIBITED.
- THE RESOURCE BOUNDARIES AND RESTRICTIONS CONTAINED HEREIN MAY ONLY BE MODIFIED IN COMPLIANCE WITH THE VILLAGE OF SUSSEX ZONING ORDINANCE.

VISION CORNER RESTRICTIONS

WITHIN THE AREA OF THE VISION CORNER EASEMENT (V.C.E.) THE HEIGHT OF ALL PLANTINGS, BERMS, FENCING, SIGNS OR ANY OTHER STRUCTURE WITHIN THE VISION CORNER EASEMENT IS LIMITED TO 24" ABOVE THE INTERSECTION ELEVATION. NO ACCESS TO ANY ROADWAY SHALL BE PERMITTED WITHIN THE VISION CORNER EASEMENT.

BASEMENT RESTRICTION - BEDROCK NOTE:

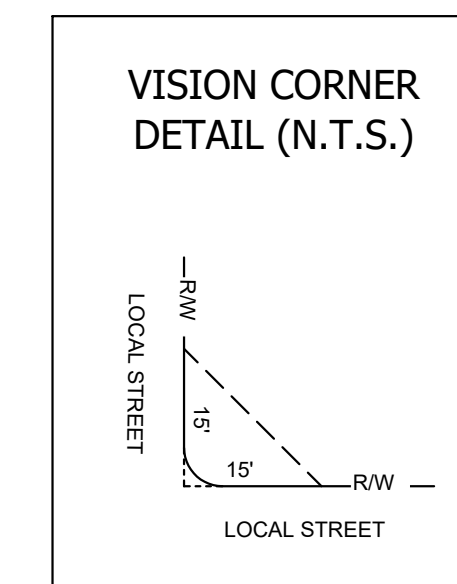
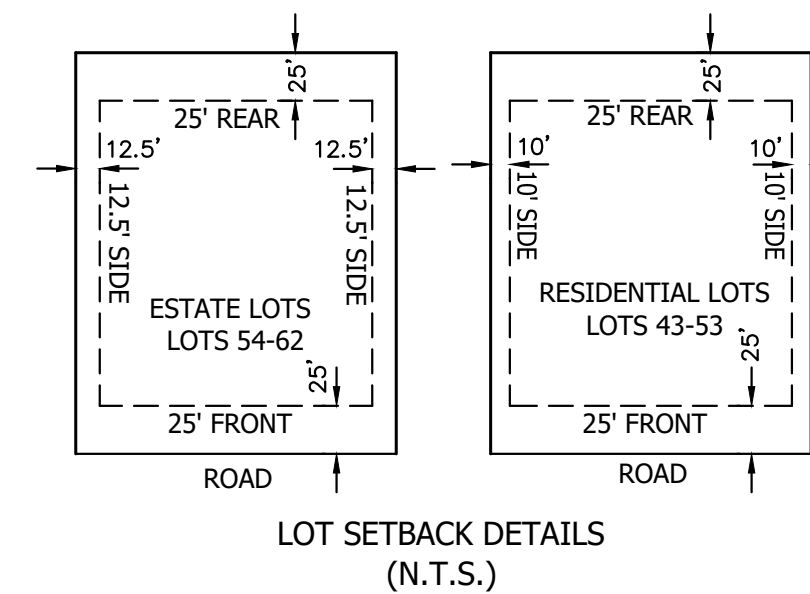
ALTHOUGH ALL LOTS IN THE SUBDIVISION HAVE BEEN REVIEWED AND APPROVED FOR DEVELOPMENT WITH SINGLE-FAMILY RESIDENTIAL USE IN ACCORDANCE WITH SECTION 236 WISCONSIN STATUTES, SOME LOTS CONTAIN SOIL CONDITIONS WHICH, DUE TO THE POSSIBLE PRESENCE OF BEDROCK NEAR THE GROUND SURFACE, MAY REQUIRE ADDITIONAL SOIL ENGINEERING AND FOUNDATION DESIGN WITH REGARD TO BASEMENT CONSTRUCTION. IT IS RECOMMENDED THAT EITHER A LICENSED PROFESSIONAL ENGINEER OR OTHER SOILS EXPERT BE CONSULTED REGARDING THE CONSTRUCTION OF BASEMENTS IN THESE AREAS WHERE BEDROCK MAY BE PRESENT NEAR THE GROUND SURFACE. SOIL CONDITIONS SHOULD BE SUBJECT TO EACH OWNER'S SPECIAL INVESTIGATION PRIOR TO CONSTRUCTION AND NO SPECIFIC REPRESENTATION IS MADE HEREIN.

BASEMENT RESTRICTION - GROUNDWATER:

ALTHOUGH ALL LOTS IN THE SUBDIVISION HAVE BEEN REVIEWED AND APPROVED FOR DEVELOPMENT WITH SINGLE-FAMILY RESIDENTIAL USE IN ACCORDANCE WITH SECTION 236 WISCONSIN STATUTES, SOME LOTS CONTAIN SOIL CONDITIONS THAT, DUE TO THE POSSIBLE PRESENCE OF GROUNDWATER NEAR THE SURFACE, MAY REQUIRE ADDITIONAL SOIL ENGINEERING AND FOUNDATION DESIGN WITH REGARD TO BASEMENT CONSTRUCTION. IT IS RECOMMENDED THAT A LICENSED PROFESSIONAL ENGINEER DESIGN A BASEMENT AND FOUNDATION THAT WILL BE SUITABLE TO WITHSTAND THE VARIOUS PROBLEMS ASSOCIATED WITH SATURATED SOIL CONDITIONS ON BASEMENT WALLS OR FLOORS OR THAT OTHER SPECIAL MEASURES BE TAKEN. SOIL CONDITIONS SHOULD BE SUBJECT TO EACH OWNER'S SPECIAL INVESTIGATION PRIOR TO CONSTRUCTION AND NO SPECIFIC REPRESENTATION IS MADE HEREIN.

PER THE VILLAGE OF SUSSEX STORM WATER MANAGEMENT ORDINANCE UNDER SUBSURFACE DRAINAGE, BASEMENT FLOOR SURFACES SHALL BE BUILT A MINIMUM OF ONE (1) FOOT ABOVE THE SEASONAL HIGH WATER TABLE ELEVATION, AS DOCUMENTED IN THE SUBMITTED SOIL EVALUATIONS, AND SHALL AVOID HYDRIC SOILS AS MUCH AS POSSIBLE.

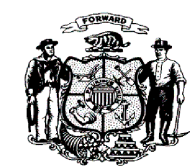
CURVE TABLE								
CURVE #		RADIUS	DELTA	ARC DIST	CHORD DIST	CHORD BEARING	TAN BEARING 1	TAN BEARING 2
A	CIL	600.00'	62°54'06"	658.70'	626.12'	S70°19'11"E	S38°52'08"E	N78°13'46"E
	CIL EAST	600.00'	37°17'45"	390.56'	383.70'	S83°07'21"E	S64°28'28"E	N78°13'46"E
	CIL WEST	600.00'	25°36'21"	268.14'	265.92'	S51°40'18"E	S38°52'08"E	S64°28'28"E
	EXT-WEST	570.00'	13°32'07"	134.65'	134.34'	S45°35'10"E	S38°49'07"E	S52°21'13"E
	EXT-EAST	570.00'	45°11'43"	449.62'	438.05'	S79°10'22"E	S56°34'31"E	N78°13'46"E
	RW SOUTH	630.00'	33°17'43"	366.10'	360.97'	N85°07'22"W	S78°13'46"W	N68°28'31"W
	LOT 43	630.00'	6°42'45"	73.81'	73.76'	S81°35'09"W	S78°13'46"W	
	LOT 44	630.00'	6°43'25"	73.93'	73.89'	S88°18'13"W		
	LOT 45	630.00'	6°49'26"	75.03'	74.99'	N84°55'21"W		
	LOT 46	630.00'	7°11'06"	79.00'	78.95'	N77°55'05"W		N74°19'32"W
	LOT 47	630.00'	5°51'01"	64.33'	64.30'	N71°24'01"W	N74°19'32"W	N68°28'31"W
	RW SOUTH	630.00'	21°33'35"	237.06'	235.66'	S49°41'39"E	S38°54'51"E	S60°28'26"E
RW LOT 62	630.00'	11°49'58"	130.11'	129.87'	N54°33'27"W	N60°28'26"W	N48°38'29"W	
OUTLOT 15	630.00'	0°54'34"	10.00'	10.00'	N48°11'12"W	N48°38'29"W	N47°43'55"W	
EXTERIOR	630.00'	8°49'03"	96.95'	96.86'	S43°19'23"E	S38°54'51"E	S47°43'55"E	
B	LOT 42	15.00'	85°59'58"	22.51'	20.46'	S68°31'31"W	N68°28'31"W	S25°31'32"W
C	CIL	100.00'	100°29'35"	175.39'	153.76'	S24°43'16"E	S25°31'32"W	S74°58'03"E
	LOT 48	70.00'	100°29'35"	122.78'	107.63'	S24°43'16"E	S25°31'32"W	S74°58'03"E
CE1	EASE TIE	70.00'	11°35'25"	14.16'	14.14'	S69°10'20"E	S63°22'38"E	S74°58'03"E
CE2	EASE	70.00'	51°33'32"	62.99'	60.89'	S37°38'52"E	S11°49'06"E	S63°22'38"E
	RW	130.00'	100°29'35"	228.01'	199.89'	S24°43'16"E	S25°31'32"W	S74°58'03"E
	LOT 57	130.00'	5°32'12"	12.56'	12.56'	N72°11'57"W	N74°58'03"W	
	LOT 58	130.00'	35°15'09"	79.99'	78.73'	N51°48'17"W		
	LOT 59	130.00'	35°17'20"	80.06'	78.81'	N16°32'02"W		N01°06'37"E
	LOT 60	130.00'	24°24'54"	55.40'	54.98'	N13°19'05"E	N01°06'37"E	N25°31'32"E
D	LOT 62	15.00'	85°59'58"	22.51'	20.46'	N17°28'27"W	N25°31'32"E	N60°28'26"W



There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20__

Department of Administration



DATED THIS 9TH DAY OF NOVEMBER, 2022
 DATED THIS 18TH DAY OF OCTOBER, 2022
 DATED THIS 7th DAY OF OCTOBER, 2022
 DATED THIS 23RD DAY OF SEPTEMBER, 2022

THIS INSTRUMENT DRAFTED BY DAPHNE WILLIAMS

SEH
 PHONE: 414.949.8962
 501 MAPLE AVENUE
 DELAFIELD, WI 53018-9351
 www.sehinc.com

PROJECT NEUMA #149103

SURVEYOR:
 KEITH A. KINDRED, PLS S-2082
 SEH, INC.
 501 MAPLE AVE.
 DELAFIELD, WI 53018
 (414) 949-8919
 KKKINDRED@SEHINC.COM

SURVEY FOR:
 VISTA RUN, LLC
 NEUMANN COMPANIES INC.
 N27W24025 PAUL CT.
 STE 100
 PEWAUKEE, WI 53072
 262-542-9200

SHEET 3 OF 4

VISTA RUN III

PART OF OUTLOT 1 OF VISTA RUN BEING A PART OF LOT 4 OF CERTIFIED SURVEY
MAP NO. 12082 AND PART OF LOT 2 OF CERTIFIED SURVEY MAP NO. 12082 BEING
A PART OF THE SE. 1/4 OF THE SW. 1/4 OF SECTION 21, T.8N., R.19E.,
VILLAGE OF SUSSEX, WAUKESHA COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE:

I, Keith A. Kindred, Professional Land Surveyor hereby certify;

That I have surveyed, divided and mapped part of Outlot 1 of Vista Run being a part of Lot 4 of Certified Survey Map No. 12082 and part of Lot 2 of Certified Survey Map No. 12082, being a part of the Southeast 1/4 of the Southwest 1/4 of Section 21, T.8N., R.19E., Village of Sussex, Waukesha County, Wisconsin bounded and described as follows:

Commencing at the South 1/4 corner of Section 21; thence North 00°22'15" East along the East line of the Southwest 1/4 of said Section 21 a distance of 166.01 feet to the Southerly line of Lot 34 of Vista Run II; thence North 89°42'49" West along said Southerly line 21.77 feet; thence North 52°10'10" West along said Southerly line and the extension thereof 154.28 feet; thence North 09°52'55" West along the Westerly line of Lot 35 of Vista Run II, a distance of 135.31 feet; thence North 15°01'57" East along said Westerly line and the extension thereof 153.83 feet to the Northerly line of Outlot 14 of Vista Run and the South line of Beaver Creek Lane; thence North 74°58'03" West along said South line 23.67 feet to the Westerly line of Outlot 14 of Vista Run and the point of beginning of the lands to be described; thence South 15°01'57" West along said Westerly line 165.00 feet to the Northerly line of said Outlot 14; thence North 74°58'03" West along said Northerly line 468.37 feet; thence North 44°39'54" West along said Northerly line 122.98 feet; thence North 21°36'11" West along said Northerly line 82.92 feet to the Easterly line of Lot 2 of Certified Survey Map No. 12082; thence South 31°38'32" West along said Easterly line 12.48 feet; thence North 21°36'11" West, 9.92 feet; thence North 05°54'56" East, 257.87 feet; thence North 28°00'48" East, 142.49 feet; thence North 41°21'31" East, 85.96 feet; thence Northwesterly 96.95 feet along the arc of a curve to the right, whose radius is 630.00 feet and whose chord bears North 43°19'23" West, 96.86 feet; thence North 50°10'35" East, 60.01 feet; thence Southeasterly 134.65 feet along the arc of a curve to the left, whose radius is 570.00 feet and whose chord bears South 45°35'10" East, 134.34 feet to the Easterly line of Lot 2 of Certified Survey Map No. 12082; thence South 54°27'52" East along said Easterly line 41.99 feet; thence Southeasterly 449.62 feet along the arc of a curve to the left, whose radius is 570.00 feet and whose chord bears South 79°10'22" East, 438.05 feet to the Westerly line of Vista Run; thence South 11°49'14" East, along said Westerly line 210.00 feet; thence South 03°43'57" East along the Westerly line of Vista Run II a distance of 81.53 feet; thence South 15°01'57" West along said Westerly line 156.84 feet to the North line of Beaver Creek Lane; thence North 74°58'03" West along said North line 125.75 feet to the Westerly line of Vista Run; thence South 15°01'57" West along said Westerly line 60.00 feet to the South line of Beaver Creek Lane; thence South 74°58'03" East along said South line 63.73 feet to the point of beginning.

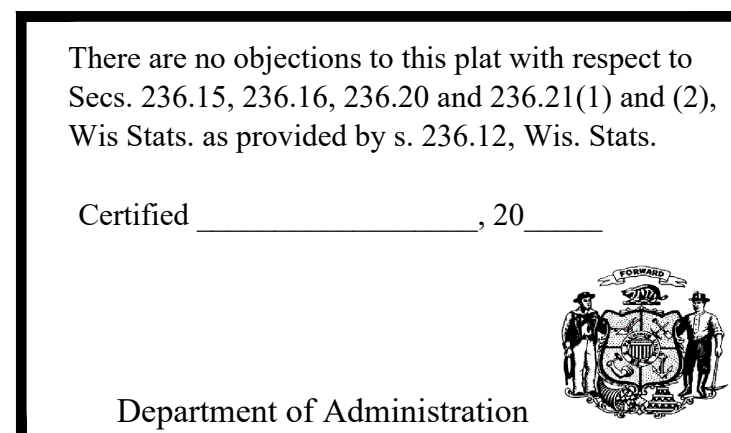
Said lands contain 397,952 square feet or 9.14 acres.

That I have made such survey, land division and plat by the direction of the owner(s) of said lands.

That such plat is a correct representation of all the exterior boundaries of the lands surveyed and the division thereof made.

That I have fully complied with the provisions of Chapter 236 of the Wisconsin State Statutes and the subdivision regulations of the Village of Sussex and Waukesha County in surveying, dividing and mapping the same.

Dated this 23rd day of September, 2022.
Revised this 7th day of October, 2022.
Revised this 18th day of October, 2022.
Revised this 9th day of November, 2022.



Keith A Kindred, PLS 2082

UTILITY EASEMENT PROVISIONS

An easement for electric, natural gas, and communications service is hereby granted by VISTA RUN LLC, Grantor, to

WISCONSIN ELECTRIC AND POWER COMPANY and WISCONSIN GAS, LLC, Wisconsin corporations doing business as We Energies, Grantee SPECTRUM MID-AMERICA, LLC, Grantee

WISCONSIN BELL, INC, doing business as AT&T Wisconsin, a Wisconsin corporation, Grantee

their respective successors and assigns, to construct, install, operate, repair, maintain and replace from time to time, facilities used in connection with overhead and

underground transmission and distribution of electricity and electric energy, natural gas, telephone and cable TV facilities for such purposes as the same is now or may hereafter be used, all in, over, under, across, along and upon the property shown within those areas on the plat designated as "Utility Easement Areas" and the property designated on the plat for streets and alleys, whether public or private, together with the right to install service connections upon, across, within and beneath the surface of each lot to serve improvements, thereon, or on adjacent lots; also the right to trim or cut down trees, brush and roots as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. The Grantees agree to restore or cause to have restored, the property, as nearly as is reasonably possible, to the condition existing prior to such entry by the Grantees or their agents. This restoration, however, does not apply to the initial installation of said underground and/or above ground electric facilities, natural gas facilities, or telephone and cable TV facilities or to any trees, brush or roots which may be removed at any time pursuant to the rights herein granted. Buildings shall not be placed over Grantees' facilities or in, upon or over the be property within the lines marked "Utility Easement Areas" without prior written consent of Grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered by more than four inches without written consent of grantees.

The grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.

LIMITED LIABILITY OWNER'S CERTIFICATE OF DEDICATION:

Vista Run, LLC, a limited liability company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said corporation caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this plat.

Vista Run LLC, does further certify that this plat is required by S236.10 or S236.12 to be submitted to the following for approval or objection:

- 1) Department of Administration
- 2) Village of Sussex
- 3) Waukesha County Department of Parks and Land Use

IN WITNESS WHEREOF, said Vista Run LLC, has caused these presents to be signed by Steve DeCleene, President of Neumann Developments, its sole member, at _____, Wisconsin, and its corporate seal to be hereunto affixed on this _____ day of _____.

In Presence of:

Steve DeCleene, President

STATE OF WISCONSIN)
_____(COUNTY) SS

Personally came before me this _____ day of _____, 20____, the above named Steve DeCleene, President of Neumann Developments, its sole member of the above named corporation, to me known to be such member of said corporation, and acknowledged that they executed the foregoing instrument as such officers as the deed of said corporation, by its authority.

Notary Public

County, Wisconsin

My Commission Expires _____

CONSENT OF CORPORATE MORTGAGEE:

Midland States Bank a Illinois corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, mortgagee of the above described land, does hereby consent to the surveying, dividing, mapping and dedication as presented on this subdivision and further consents to the above certified owners.

IN WITNESS WHEREOF, Midland States Bank has caused these presents to be signed by _____, its _____, and its corporate seal to be hereunto affixed this ____ day of _____, 20____.

STATE OF ILLINOIS)
_____(COUNTY) SS

Personally came before me this ____ day of _____, 20____, to me known to be the person who executed the foregoing instrument as such, by its authority.

(Notary Seal) _____, Notary Public, _____ County, Illinois.

My commission expires _____.

VILLAGE BOARD APPROVAL CERTIFICATE:

Approved that the Plat of VISTA RUN III, in the Village of Sussex, is hereby approved by the Village Board.

All conditions have been met as of the _____ day of _____, 20____.

Date: _____ Signed _____
Anthony J. LeDonne, Village President

Date: _____ Signed _____
Jennifer Moore, Village Clerk

PLAN COMMISSION APPROVAL CERTIFICATE:

APPROVED, that the Plat of VISTA RUN III, in the Village of Sussex, is hereby approved by the Plan Commission.

Approved as of the _____ day of _____, 20____.

Date: _____ Signed _____
Anthony J. LeDonne, Chairperson

Date: _____ Signed _____
Jennifer Moore, Village Clerk

CERTIFICATE OF VILLAGE TREASURER:

STATE OF WISCONSIN)
WAUKESHA COUNTY) SS

I, Jennifer Moore, being duly elected, qualified and acting Treasurer of the Village of Sussex, do hereby certify that the records in my office show no unredeemed tax sales and no unpaid taxes or special assessments as of _____ affecting the lands included in the plat of Vista Run III.

Date _____
Treasurer-Jennifer Moore

CERTIFICATE OF COUNTY TREASURER:

STATE OF WISCONSIN)
WAUKESHA COUNTY) SS

I, Pamela Reeves, being duly elected, qualified and acting Treasurer of WAUKESHA County, do hereby certify that the records in my office show no unredeemed tax sales and no unpaid taxes or special assessments as of _____ affecting the lands included in the plat of Vista Run III.

Date _____
Waukesha County Treasurer - Pamela Reeves

Exhibit “A”

Village of Sussex Plan Commission

Standard Conditions of Approval Plan of Operation and Site Plan

The Plan Commission for the Village of Sussex authorizes the Building Inspector to issue a building permit to the Petitioner and approves the general layout, architectural plans, ingress and egress, parking, loading and unloading, landscaping, open space utilization, site plan and plan of operation subject to the following conditions:

1. Presentation compliance. Subject to Petitioner operating the premises at all times in substantial conformity with the presentation made to the Village Plan Commission, as modified or further restricted by the comments or concerns of the Village Plan Commission.

2. Inspection compliance. Subject to the Petitioner submitting to and receiving the approval from the Village Administrator, written proof that the Village Building Inspector and Fire Chief have inspected the subject property and have found that the subject property is in substantial compliance with applicable federal, State, and local laws, statutes, codes, ordinances, policies, guidelines and best management practices, prior to this approval being effective.

3. Regulatory compliance. Subject to the Petitioner and Owner fully complying with all Village, County of Waukesha, State of Wisconsin and federal government codes, ordinances, statutes, rules, regulations and orders regarding the premises, including but not limited to compliance with Section 17.1000 of the Village of Sussex Zoning Code entitled “Site Plan Review and Architectural Control,” as determined by Village Staff.

4. Satisfaction of Engineer. Subject to the Developer satisfying all comments, conditions, and concerns of the Village Engineer regarding the Petitioner’s application prior to this approval being effective.

5. Required plans. Subject to the Developer submitting to and receiving written approval from the Village Administrator of all of the following plans as deemed necessary by the Village Administrator:

- A. Landscaping plan
- B. Parking plan
- C. Lighting plan
- D. Signage plan
- E. Traffic plan
- F. Grading plan

- G. Tree preservation plan
- H. Open space plan
- I. Water plan
- J. Surface and stormwater management plan
- K. Sewer plan
- L. Erosion control plan
- M. _____
- N. _____
- O. _____
- P. _____

6. Screening of All Dumpsters. Subject to the Petitioner and Owner screening all dumpsters as required by the ordinance to the satisfaction of the Village Administrator.

7. Payment and reimbursement of fees and expenses. Subject to the Petitioner and Owner paying all costs, assessments and charges due and owing to the Village of Sussex either by the Petitioner or imposed on the subject property, including, but not limited to, real estate taxes, personal property taxes, utility bills, special assessments, permit fees, license fees and professional fees which shall include all costs and expenses of any type that the Village incurs in connection with Petitioner’s application, including the cost of professional services incurred by the Village (including engineering, legal and other consulting fees) for the review of and preparation of the conditions of approval, attendance at meetings or other related professional services for this application, as well as for any actions the Village is required to take to enforce any of the conditions of this approval due to a violation of these conditions by the Petitioner or the Owner, as authorized by law.

8. Condition if the Property is in the B-4 Central Business District. If the property is in the B-4 Central Business District, the Petitioner shall comply with the standards and conditions found within the Village of Sussex Downtown Design and Development Plan and other plans as may be approved from time to time by the Community Development Authority in its role as a Redevelopment Authority to guide development within the Village’s Downtown.

9. Subject to acceptance. The Owner by requesting a permit either directly or through an agent, and accepting the same is acknowledging that they have received a copy of this conditional approval, that they understand and accept the same, and that upon failure to satisfy these conditions this approval is void, and the same is deemed to not have been approved, and the Petitioner will therefore need to re-commence the application process.

10. Any official named in this document can appoint a designee to perform his or her duties.

Model Standard Conditions of Approval for Plats.

1. Subject to the developer satisfying all comments, conditions, and concerns of the Village Engineer, the Village Staff, and all reviewing, objecting, and approving bodies, including, but not limited to the State of Wisconsin Laws; and Waukesha County; in regard to the preliminary plat and final plat, prior to commencing construction of any improvement, whether public or private, or site development or approval of the final plat, whichever is earlier.
2. Subject to the Developer submitting to the Village Clerk and receiving approval as to form from the Village Attorney and as to the amount from the Village engineer, a letter of credit or cash or other means of security as allowed by law and subject to the Developer submitting to and receiving from the Village Attorney and Village Engineer, approval of a Developer's Agreement for the improvements (including all public, private, and site development improvements), prior to commencing construction of any improvement, whether public or private, or site development or approval of the final plat, whichever is earlier.
3. Subject to the Developer submitting to and receiving from the Village Attorney and Village Administrator, approval of the final draft of the deed restrictions, prior to commencing construction of any improvement, whether public or private, or site development, whichever is earlier.
4. Subject to the Developer applying for and receiving from the Plan Commission for the Village of Sussex, and the Sussex Village Board, (Waukesha County, if necessary), all necessary variances (if any) to the Village of Sussex Zoning Code (or Waukesha County Zoning Code if necessary), the Village of Sussex Shoreland and Floodland Protection Ordinance (Waukesha County, if necessary), and the Village of Sussex Land Division and Development Ordinance, prior to commencing construction of any improvement, whether public or private, or site development, whichever is earlier.
5. Subject to and prior to the Village signing the final plat, all other required signatures must be inscribed on the final plat.
6. Subject to the Developer and Owner satisfying all comments, conditions, and concerns of all rezoning ordinances, which have been approved in regard to the subject property, prior to commencing construction of any improvement, whether public or private, or site development, whichever is earlier.
7. Subject to the Developer submitting to and receiving approval from the Village Plan Commission of the Village of Sussex and the Sussex Village Board as necessary of landscaping, signage, phasing, street name, and entrance plan prior to commencing construction of any improvements, whether public or private, or site development, whichever is earlier.
8. Subject to the Developer submitting to and receiving approval from the Village Engineer, and Village Staff of all necessary plans including, but not limited to utility,

roadway, landscaping, sidewalk, street lighting, storm water management, grading, erosion control, private utility, easements and phasing plans.

9. Subject to the Developer submitting the preliminary plat and final plat to and receiving approval from the Fire, Police, and Development Department of the same, including, but not limited to, approval of any and all issues regarding street names, and the uniform address system, prior to commencing construction of any improvements, whether public or private, or site development, whichever is earlier.
10. Professional Fees. Petitioner shall, on demand, reimburse the Village for all costs and expenses of any type that the Village incurs in connection with this rezoning petition, including the cost of professional services incurred by the Village (including engineering, legal, planning and other consulting fees) for the review and preparation of required documents or attendance at meetings or other related professional services for this application, as well as to enforce the conditions in any conditional rezoning ordinance due to a violation of these conditions.
11. Payment of Charges. Any unpaid bills owed to the Village by the owner of subject lands or his or her tenants, operators or occupants, for reimbursement of professional fees (as described above); or for personal property taxes; or for real property taxes; or for licenses, permit fees or any other fees owed to the Village: shall be placed upon the tax roll for the subject property if not paid within thirty (30) days of billing by the Village, pursuant to Section 66.0627, Wisconsin Statutes. Such unpaid bills also constitute a breach of the requirements of any conditional rezoning ordinance that is subject to all remedies available to the Village, including possible cause for termination of the conditional rezoning ordinance.
12. Subject to the Developer satisfying and establishing all of the infrastructure improvements prior to the Developer presenting a Final plat to the Village except as authorized in the Developers Agreement.
13. Subject to the Developer satisfying all of the aforementioned conditions within one (1) year of the Village Board granting conditional final plat approval.

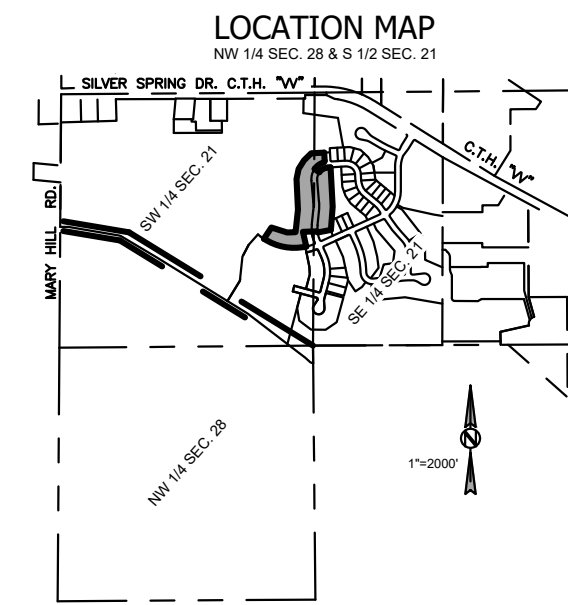
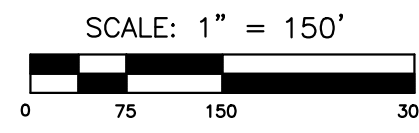
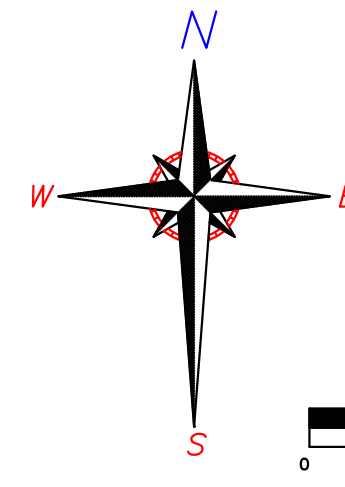
VISTA RUN IV

PART OF OUTLOT 1 OF VISTA RUN BEING A PART OF LOT 4 OF CERTIFIED SURVEY MAP NO. 12082, BEING A PART OF THE SE. 1/4 AND NE. 1/4 OF THE SW. 1/4 AND THE SW. 1/4 AND NW. 1/4 OF THE SE. 1/4 OF SECTION 21, T.8N., R.19E., VILLAGE OF SUSSEX, WAUKESHA COUNTY, WISCONSIN.

OVERALL DETAIL

SURVEYOR:
KEITH A. KINDRED, PLS S-2082
SEH, INC.
501 MAPLE AVE.
DELAFIELD, WI 53018
(414) 949-8919
KKINDRED@SEHINC.COM

SURVEY FOR:
VISTA RUN, LLC
NEUMANN COMPANIES INC.
N27W24025 PAUL CT.
STE 100
PEWAUKEE, WI 53072
262-542-9200



BEARINGS ARE REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD 1927) GRID NORTH ON THE EAST LINE OF THE SW 1/4 OF SECTION 21-8-19 AS S00°22'15"W.

DISTANCES ARE COMPUTED TO THE NEAREST 0.01' AND MEASURED TO THE NEAREST 0.01'

ANGLES ARE COMPUTED TO THE NEAREST 00'00"0.5" AND MEASURED TO THE NEAREST 00'00"05"

Public Easements (applies to all) -

- Permanent non-exclusive easements granted to the Village of Sussex ("Village") upon, within, and beneath the land identified on the plat for the various types of Public Easements. Easements shall run with the land and shall be binding upon and inure to the benefit of and be enforceable by the Village and its respective heirs, personal representatives, successors and assigns.
- Trees, bushes, branches and roots may be trimmed or removed so as not to interfere with the Village's use of the easement area.
- The Village of Sussex is not responsible for the mowing of any easement areas, but has the right to mow and/or remove vegetation at its sole discretion.
- Access - The land owner agrees that the Village and its employees, agents, and independent contractors shall have the right to enter upon the easement area for the purpose of exercising its rights in the easement area.
- Buildings and other Structures - The land owner agrees that no structures will be erected in the easement area, or in such close proximity to the facilities, such as to prevent the Village from exercising its rights under this easement.
- Elevation - The land owner agrees that the elevation of the existing ground surface within the easement area will not be altered by more than four (4) inches without the written consent of the Village.
- Restoration - The Village agrees to restore or cause to have restored the land owner's land to grade and replace sod or grass disturbed. This restoration, however, does not apply to the initial installation or to any trees, bushes, branches, or roots which may interfere with the Village's use of the easement area.
- Exercise of Rights - It is agreed that the complete exercise of rights herein conveyed may be gradual and not fully exercised until some time in the future, and that none of the rights herein shall be lost by non-use.

Public Storm Sewer and Public Drainage Easements:

- Install, operate, maintain, and replace above ground and underground storm sewer facilities, together with all necessary and appurtenant equipment under and above the ground as deemed necessary by the Village, all to transmit or store storm water.
- Surface storm water conveyance.

Public Sidewalk or Path Easements:

- Construct, maintain, repair, and replace pedestrian sidewalks in the sidewalk easements and path in the access easements depicted on the final plat.
- The general public shall have the right to traverse the Public Sidewalk Easement area for use as a public sidewalk and path.

Private Easements:

- Private easements are granted to the lot owners of Vista Run IV.

Private Drainage Easements:

- Private Drainage Easements granted to the Owners of the Lots within this Subdivision are established to provide for the unobstructed flow of Stormwater runoff from adjacent and upstream properties. No trees, bushes, fences, or structures of any kind may be placed within the private drainage easements. Owners of Lots on which these Private Drainage Easements exist shall be responsible for keeping these areas free of any obstructions and grade alterations that may restrict or divert this flow. The grades within the drainage easements must be in substantial compliance with the approved grading plan for the Subdivision.

Private Landscape Easements:

The Landscape Easements are granted to each individual Lot Owner or Condominium Owner within this subdivision, each individual Lot or Condominium Owner of any previous additions, and each individual Lot or Condominium Owners within any future addition to this Subdivision. This does not include Outlots granted to the Village of Sussex. The Owners of the Lots and Condominium Owners shall be liable for an equal undivided fractional share of the cost to repair, maintain or restore the easement areas. Said repairs, maintenance and restoration shall be performed by the Owners of all Lots and Condominiums within this Subdivision, the Lot and Condominium Owners of any previous additions and the Owners of any Lots or Condominiums within any future addition to this Subdivision.

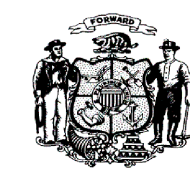
LEGEND

- 2.375" O.D. IRON PIPE SET, 18" LONG, WT. = 3.65 LBS./LIN. FT. 1 1/16" REBAR, 18" LONG, WT. = 1.13 LBS./LIN. FT. SET AT ALL OTHER LOT & OUTLOT CORNERS
- ⊕ CONCRETE MONUMENT W/ BRASS CAP FOUND
- ⊙ 2" IRON PIPE FOUND (UNLESS OTHERWISE STATED)
- VCE VISION CORNER EASEMENT

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20__

Department of Administration



SHEET 1 OF 5

DATED THIS 19TH DAY OF OCTOBER, 2022
DATED THIS 3RD DAY OF OCTOBER, 2022

SEH
PHONE: 414.949.8962
501 MAPLE AVENUE
DELAFIELD, WI 53018-9351
www.sehinc.com

PROJECT NEUMA #149103

THIS INSTRUMENT DRAFTED BY DAPHNE WILLIAMS

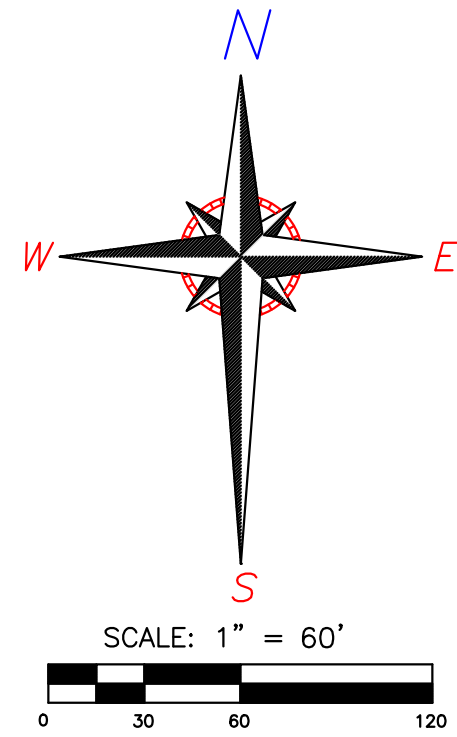
VISTA RUN IV

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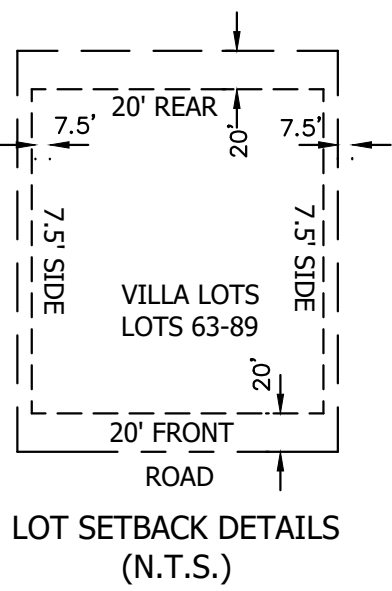
LOT DETAIL

LEGEND

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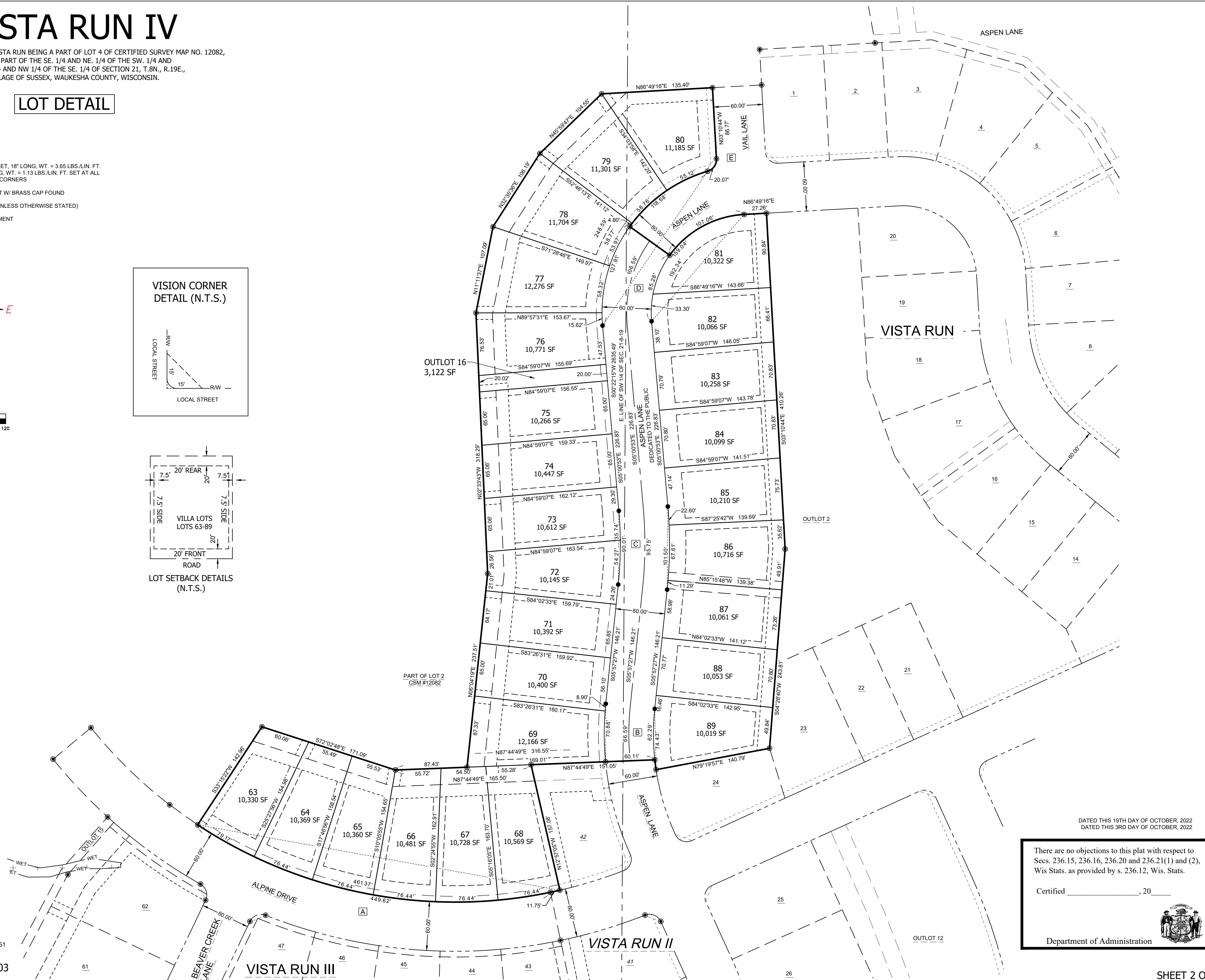
VISION CORNER DETAIL (N.T.S.)



SURVEY FOR:
 VISTA RUN, LLC
 NEUMANN COMPANIES INC.
 N27W24025 PAUL CT.
 STE 100
 PEWAUKEE, WI 53072
 262-542-9200

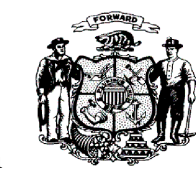
SURVEYOR:
 KEITH A. KINDRED, PLS S-2082
 SEH, INC.
 501 MAPLE AVE.
 DELAFIELD, WI 53018
 (414) 949-8919
 KAKINDRED@SEHINC.COM

SEH
 PHONE: 414.949.8962
 501 MAPLE AVENUE
 DELAFIELD, WI 53018-9351
 www.sehinc.com
 PROJECT NEUMA #149103



DATED THIS 18TH DAY OF OCTOBER, 2022
 DATED THIS 3RD DAY OF OCTOBER, 2022

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.
 Certified _____, 20____
 Department of Administration



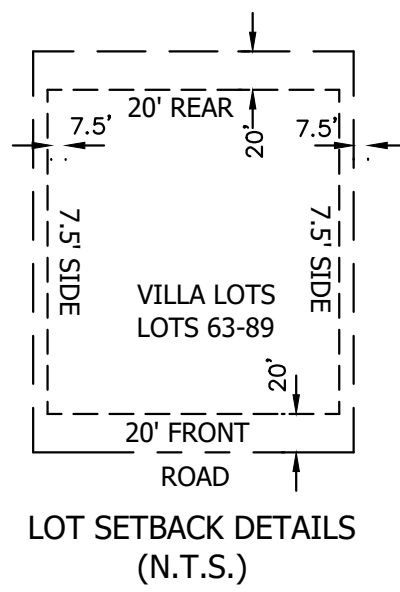
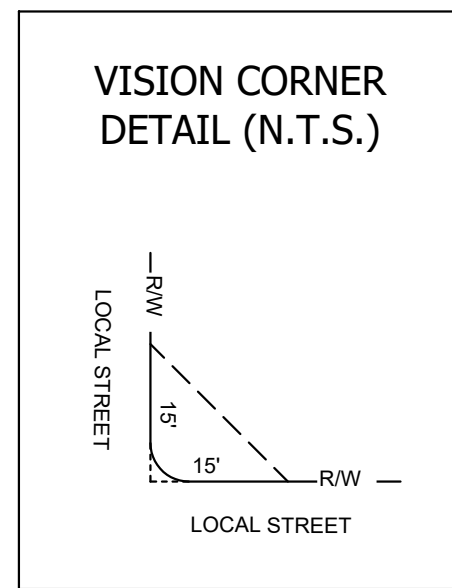
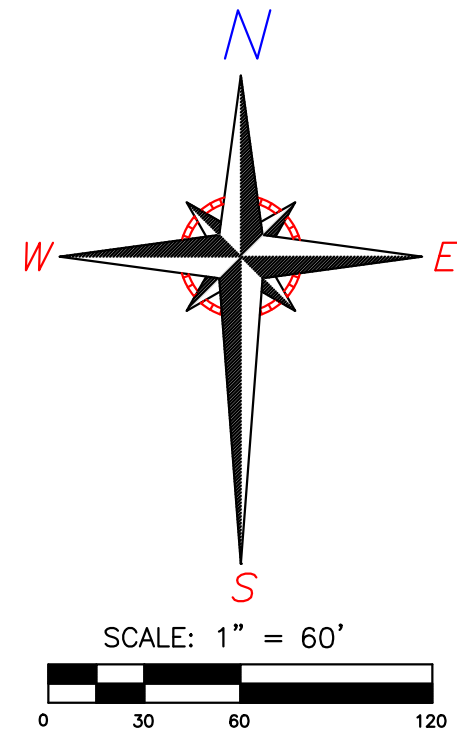
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EASEMENT DETAIL

LEGEND

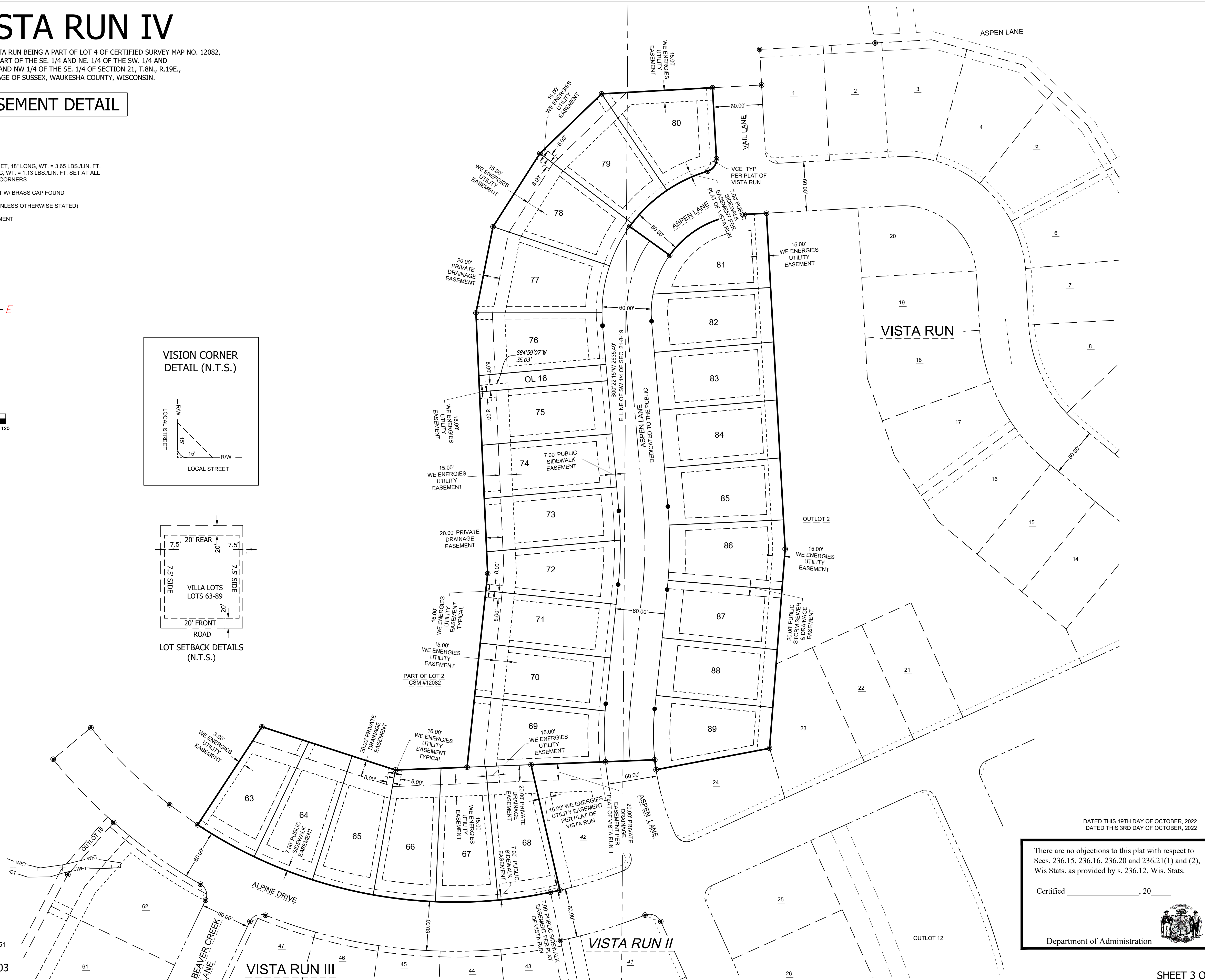
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- ⊕ CONCRETE MONUMENT W/ BRASS CAP FOUND
- 2" IRON PIPE FOUND (UNLESS OTHERWISE STATED)
- VCE VISION CORNER EASEMENT



SURVEY FOR:
 VISTA RUN, LLC
 NEUMANN COMPANIES INC.
 N27W24025 PAUL CT.
 STE 100
 PEWAUKEE, WI 53072
 262-542-9200

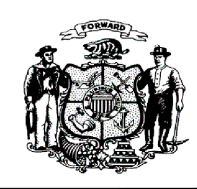
SURVEYOR:
 KEITH A. KINDRED, PLS S-2082
 SEH, INC.
 501 MAPLE AVE.
 DELAFIELD, WI 53018
 (414) 949-8919
 Kkindred@sehinc.com

SEH
 PHONE: 414.949.8962
 501 MAPLE AVENUE
 DELAFIELD, WI 53018-9351
 www.sehinc.com
 PROJECT NEUMA #149103



DATED THIS 19TH DAY OF OCTOBER, 2022
 DATED THIS 3RD DAY OF OCTOBER, 2022

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.
 Certified _____, 20____
 Department of Administration



VISTA RUN IV

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GENERAL NOTES:

- EACH INDIVIDUAL LOT OWNER SHALL HAVE AN UNDIVIDED FRACTIONAL OWNERSHIP IN OUTLOT 4 OF VISTA RUN. WAUKESHA COUNTY SHALL NOT BE LIABLE FOR ANY FEES OR SPECIAL ASSESSMENTS IN THE EVENT THEY BECOME THE OWNER OF ANY LOT IN THE SUBDIVISION BY REASON OF TAX DELINQUENCY. THE INDIVIDUAL HOME OWNERS ARE RESPONSIBLE FOR MAINTENANCE OF SAID OUTLOT.
- OUTLOT 16 RESERVED FOR ACCESS TO FUTURE PARK.
- LOTS 68 THROUGH 89 ARE ZONED RS-2 PUD. PLANNED DEVELOPMENT BELOW- VILLA LOT-LOTS 68-89
- ALL EASEMENTS ARE GRANTED TO THE VILLAGE OF SUSSEX UNLESS OTHERWISE STATED.
- ALL ROADS WITHIN THE SUBDIVISION ARE DEDICATED TO THE PUBLIC.
- NO POLES, PADS BOXES OR BURIED CABLES ARE TO BE PLACED SUCH THAT THE INSTALLATION WOULD DISTURB ANY SURVEY STAKE. THE DISTURBANCE OF A SURVEY STAKE BY ANYONE IS A VIOLATION OF SECTION 236.32 OF WISCONSIN STATUTES.
- THE SITE FALLS WITHIN ZONE X, AREA OF MINIMAL FLOODING PER FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 55133C0069G, EFFECTIVE DATE NOVEMBER 5, 2014.
- THE OVERALL AREA OF THIS PLAT IS 327.947 S.F. OR 7.53 AC.

STORM WATER MANAGEMENT NOTES:

THERE ARE ONE OR MORE SEPARATE DOCUMENTS RECORDED ON THE PROPERTY TITLE THROUGH THE WAUKESHA COUNTY REGISTER OF DEEDS ENTITLED "STORM WATER MANAGEMENT PRACTICE MAINTENANCE AGREEMENT" ("MAINTENANCE AGREEMENT") THAT APPLY TO OUTLOT 2, OUTLOT 7, OUTLOT 11 AND OUTLOT 14 OF VISTA RUN. THE MAINTENANCE AGREEMENT SUBJECTS THIS SUBDIVISION PLAT, AND ALL LOT OWNERS THEREIN, TO COVENANTS, CONDITIONS AND RESTRICTIONS NECESSARY TO ENSURE THE LONG-TERM MAINTENANCE OF THE STORM WATER MANAGEMENT PRACTICE. THE AGREEMENT ALSO OUTLINES A PROCESS BY WHICH THE VILLAGE OF SUSSEX MAY LEVY AND COLLECT SPECIAL ASSESSMENTS OR CHARGES FOR ANY SERVICES THE COMMUNITY MIGHT PROVIDE RELATING TO ENFORCEMENT OF THE MAINTENANCE AGREEMENT.

IN ACCORDANCE WITH CHAPTER 14 - OF VILLAGE OF SUSSEX CODE OF ORDINANCES ("STORMWATER MANAGEMENT ORDINANCE"), THE STORM WATER PERMIT HOLDER IS RESPONSIBLE FOR CONSTRUCTING THE STORM WATER MANAGEMENT PRACTICES FOLLOWING PLANS APPROVED BY VILLAGE AND IS RESPONSIBLE FOR MAINTAINING THE STORM WATER PRACTICES UNTIL PERMIT TERMINATION BY THE VILLAGE. UPON TERMINATION OF THE STORM WATER PERMIT, THE OWNERS OF LOTS 1-30 OF VISTA RUN, THE OWNERS OF LOTS 31-42 OF VISTA RUN II, THE OWNERS OF LOTS 43-62 OF VISTA RUN III AND THE OWNERS OF LOTS 68-89 OF VISTA RUN IV SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE STORM WATER MANAGEMENT PRACTICES IN ACCORDANCE WITH THE MAINTENANCE AGREEMENT.

ALL SIDE AND REAR LOT LINES NOT REGULATED BY THE VILLAGE OF SUSSEX SHALL BE GRADED AND MAINTAINED IN COOPERATION WITH ADJUTING PROPERTY OWNERS SO AS TO NEITHER IMPEDE THE FLOW OF STORMWATER, NOR NEGATIVELY IMPACT ANY ADJUTING PROPERTY, WHILE ALSO ADHERING TO THE ESTABLISHED, APPROVED, AND ACCEPTED STORMWATER MANAGEMENT PLAN.

EASEMENTS

ALL LANDS WITHIN AREAS LABELED "DRAINAGE EASEMENT" ARE RESERVED FOR STORM WATER COLLECTION, CONVEYANCE, TREATMENT OR INFILTRATION. NO BUILDINGS OR OTHER STRUCTURES ARE ALLOWED IN THESE AREAS. NO GRADING OR FILLING IS ALLOWED IN THESE AREAS THAT MAY INTERRUPT STORM WATER FLOWS IN ANY WAY. THE MAINTENANCE AGREEMENT MAY CONTAIN SPECIFIC MAINTENANCE REQUIREMENTS FOR THESE AREAS. THE VILLAGE OF SUSSEX, OR THEIR DESIGNEE ARE AUTHORIZED ACCESS IN THESE AREAS FOR PURPOSES OF INSPECTING THE STORM WATER MANAGEMENT PRACTICES OR ENFORCING THE TERMS OF MAINTENANCE AGREEMENT.

VISION CORNER RESTRICTIONS

WITHIN THE AREA OF THE VISION CORNER EASEMENT (V.C.E.) THE HEIGHT OF ALL PLANTINGS, BERMS, FENCING, SIGNS OR ANY OTHER STRUCTURE WITHIN THE VISION CORNER EASEMENT IS LIMITED TO 24" ABOVE THE INTERSECTION ELEVATION. NO ACCESS TO ANY ROADWAY SHALL BE PERMITTED WITHIN THE VISION CORNER EASEMENT.

BASEMENT RESTRICTION - BEDROCK NOTE:

ALTHOUGH ALL LOTS IN THE SUBDIVISION HAVE BEEN REVIEWED AND APPROVED FOR DEVELOPMENT WITH SINGLE-FAMILY RESIDENTIAL USE IN ACCORDANCE WITH SECTION 236 WISCONSIN STATUTES, SOME LOTS CONTAIN SOIL CONDITIONS WHICH, DUE TO THE POSSIBLE PRESENCE OF BEDROCK NEAR THE GROUND SURFACE, MAY REQUIRE ADDITIONAL SOIL ENGINEERING AND FOUNDATION DESIGN WITH REGARD TO BASEMENT CONSTRUCTION. IT IS RECOMMENDED THAT EITHER A LICENSED PROFESSIONAL ENGINEER OR OTHER SOILS EXPERT BE CONSULTED REGARDING THE CONSTRUCTION OF BASEMENTS IN THESE AREAS WHERE BEDROCK MAY BE PRESENT NEAR THE GROUND SURFACE. SOIL CONDITIONS SHOULD BE SUBJECT TO EACH OWNER'S SPECIAL INVESTIGATION PRIOR TO CONSTRUCTION AND NO SPECIFIC REPRESENTATION IS MADE HEREIN.

BASEMENT RESTRICTION - GROUNDWATER:

ALTHOUGH ALL LOTS IN THE SUBDIVISION HAVE BEEN REVIEWED AND APPROVED FOR DEVELOPMENT WITH SINGLE-FAMILY RESIDENTIAL USE IN ACCORDANCE WITH SECTION 236 WISCONSIN STATUTES, SOME LOTS CONTAIN SOIL CONDITIONS THAT, DUE TO THE POSSIBLE PRESENCE OF GROUNDWATER NEAR THE SURFACE, MAY REQUIRE ADDITIONAL SOIL ENGINEERING AND FOUNDATION DESIGN WITH REGARD TO BASEMENT CONSTRUCTION. IT IS RECOMMENDED THAT A LICENSED PROFESSIONAL ENGINEER DESIGN A BASEMENT AND FOUNDATION THAT WILL BE SUITABLE TO WITHSTAND THE VARIOUS PROBLEMS ASSOCIATED WITH SATURATED SOIL CONDITIONS ON BASEMENT WALLS OR FLOORS OR THAT OTHER SPECIAL MEASURES BE TAKEN. SOIL CONDITIONS SHOULD BE SUBJECT TO EACH OWNER'S SPECIAL INVESTIGATION PRIOR TO CONSTRUCTION AND NO SPECIFIC REPRESENTATION IS MADE HEREIN.

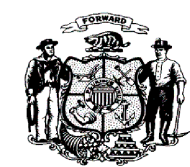
PER THE VILLAGE OF SUSSEX STORM WATER MANAGEMENT ORDINANCE UNDER SUBSURFACE DRAINAGE, BASEMENT FLOOR SURFACES SHALL BE BUILT A MINIMUM OF ONE (1) FOOT ABOVE THE SEASONAL HIGH WATER TABLE ELEVATION, AS DOCUMENTED IN THE SUBMITTED SOIL EVALUATIONS, AND SHALL AVOID HYDRIC SOILS AS MUCH AS POSSIBLE.

CURVE TABLE									
CURVE #	RADIUS	DELTA	ARC DIST	CHORD DIST	CHORD BEARING	TAN BEARING 1	TAN BEARING 2		
A	EXTERIOR	570.00'	46°22'34"	461.37'	448.88'	N79°45'48"W	S56°34'31"E	N77°02'55"E	
	R/W VISTA RUN IV	570.00'	45°11'42"	449.62'	438.05'	S79°10'22"E	S56°34'31"E	N78°13'46"E	
	R/W VISTA RUN	570.00'	1°10'52"	11.75'	11.75'	N77°38'21"E	N78°13'46"E	N77°02'55"E	
	LOT 63	570.00'	7°57'34"	79.17'	79.12'	S60°33'18"E	S56°34'31"E	S64°32'04"E	
	LOT 64	570.00'	7°41'00"	76.44'	76.38'	S68°22'34"E	S64°32'04"E	S72°13'04"E	
	LOT 65	570.00'	7°41'00"	76.44'	76.38'	S76°03'35"E	S72°13'04"E	S79°54'05"E	
	LOT 66	570.00'	7°41'00"	76.44'	76.38'	S83°44'35"E	S79°54'05"E	S87°35'05"E	
	LOT 67	570.00'	7°41'00"	76.44'	76.38'	N88°34'25"E	S87°35'05"E	N84°43'55"E	
	LOT 68	570.00'	7°41'00"	76.44'	76.38'	N80°53'25"E	N84°43'55"E	N77°02'55"E	
	B	C/L	325.00'	11°44'20"	66.59'	66.47'	S00°05'18"W	S05°57'27"W	S05°46'52"E
R/W WEST		355.00'	11°26'25"	70.88'	70.77'	S00°14'15"W	S05°57'27"W	S05°28'58"E	
LOT 69		355.00'	10°00'13"	61.98'	61.90'	N00°28'51"W	N05°28'58"W	N04°31'15"E	
LOT 70		355.00'	1°26'12"	8.90'	8.90'	N05°14'21"E	N04°31'15"E	N05°57'27"E	
R/W EAST		295.00'	14°27'20"	74.43'	74.23'	S01°16'13"E	S05°57'27"W	S08°29'53"E	
LOT 85		295.00'	12°05'53"	62.29'	62.17'	S00°05'29"E	S05°57'27"W	S08°08'26"E	
R/W VISTA RUN		295.00'	2°21'27"	12.14'	12.14'	N07°19'09"W	S08°08'26"E	S08°29'53"E	
C/L		500.00'	10°58'21"	95.75'	95.61'	N00°28'17"E	N05°57'27"E	N05°00'53"W	
R/W WEST		470.00'	10°58'20"	90.01'	89.87'	N00°28'17"E	N05°57'27"E	N05°00'53"W	
LOT 72		470.00'	6°36'56"	54.27'	54.24'	N02°38'59"E	N05°57'27"E	N00°39'29"W	
C	LOT 73	470.00'	4°21'24"	35.74'	35.73'	N02°50'11"W	N00°39'29"W	N05°00'53"W	
	R/W EAST	530.00'	10°58'21"	101.50'	101.34'	S00°28'17"W	S05°00'53"E	S05°57'27"W	
	LOT 85	530.00'	2°26'35"	22.60'	22.60'	S03°47'36"E	S05°00'53"E	S02°34'18"E	
	LOT 86	530.00'	7°18'31"	67.61'	67.56'	S01°04'57"W	S02°34'18"E	S04°44'12"W	
	LOT 87	530.00'	1°13'15"	11.29'	11.29'	S05°20'50"W	S04°44'12"W	S05°57'27"W	
	D	C/L	150.00'	40°42'58"	106.59'	104.37'	S15°20'36"W	S35°42'05"W	S05°00'53"E
		R/W	180.00'	78°29'36"	246.59'	227.76'	S34°13'55"W	S73°28'43"W	S05°00'53"E
		R/W VISTA RUN IV	180.00'	40°42'58"	127.91'	125.24'	S15°20'36"W	S35°42'05"W	S05°00'53"E
		R/W VISTA RUN	180.00'	37°46'38"	118.68'	116.54'	S54°35'24"W	S73°28'43"W	S35°42'05"W
		LOT 76	180.00'	4°58'24"	15.62'	15.62'	N02°31'41"W	N05°00'53"W	N00°02'29"W
LOT 77		180.00'	18°33'43"	58.32'	58.06'	N09°14'22"E	N00°02'29"W	N18°31'14"E	
LOT 78		180.00'	18°42'33"	58.77'	58.52'	S27°52'31"W	S37°13'47"W	S18°31'14"W	
VISTA RUN IV		180.00'	17°10'50"	53.97'	53.77'	N27°06'39"E	N18°31'14"E	N35°42'05"E	
VISTA RUN		180.00'	1°31'43"	4.80'	4.80'	N36°27'56"E	N35°42'05"E	N37°13'47"E	
LOT 79		180.00'	18°42'15"	58.76'	58.50'	N46°34'55"E	N37°13'47"E	N55°56'02"E	
E	LOT 80	180.00'	17°32'41"	55.12'	54.90'	N64°42'23"E	N55°56'02"E	N73°28'43"E	
	R/W EAST	120.00'	91°50'09"	192.34'	172.40'	S40°54'11"W	S86°49'16"W	S05°00'53"E	
	R/W VISTA RUN	120.00'	51°07'11"	107.06'	103.55'	S61°15'40"W	S86°49'16"W	S35°42'05"W	
	R/W VISTA RUN IV	120.00'	40°42'58"	85.28'	83.49'	S15°20'36"W	S35°42'05"W	S05°00'53"E	
	LOT 81	120.00'	75°56'18"	159.04'	147.66'	S48°51'07"W	S86°49'16"W	S10°52'57"W	
	LOT 82	120.00'	15°53'51"	33.30'	33.19'	S02°56'02"W	S10°52'57"W	S05°00'53"E	
	LOT 80	15.00'	76°39'27"	20.07'	18.61'	S35°08'59"W	N73°28'43"E	N03°10'44"W	

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____

Department of Administration



DATED THIS 19TH DAY OF OCTOBER, 2022
DATED THIS 3RD DAY OF OCTOBER, 2022

THIS INSTRUMENT DRAFTED BY DAPHNE WILLIAMS



PHONE: 414.949.8962
501 MAPLE AVENUE
DELAFIELD, WI 53018-9351
www.sehinc.com

PROJECT NEUMA #149103

SURVEYOR:
KEITH A. KINDRED, PLS S-2082
SEH, INC.
501 MAPLE AVE.
DELAFIELD, WI 53018
(414) 949-8919
K.KINDRED@SEHINC.COM

SURVEY FOR:
VISTA RUN, LLC
NEUMANN COMPANIES INC.
N27W24025 PAUL CT.
STE 100
PEWAUKEE, WI 53072
262-542-9200

SHEET 4 OF 5

SURVEYOR'S CERTIFICATE:

I, Keith A. Kindred, Professional Land Surveyor hereby certify;

That I have surveyed, divided and mapped part of Outlot 1 of Vista Run, being part of Lot 4 of Certified Survey Map No. 12082, being a part of the Southwest 1/4 and Northwest 1/4 and the Southwest 1/4 and Northwest 1/4 of the Southeast 1/4 of Section 21, T.8N., R.19E., Village of Sussex, Waukesha County, Wisconsin bounded and described as follows:

Commencing at the South 1/4 corner of Section 21; thence North 00°22'15" East along the East line of the Southwest 1/4 of said Section 21 a distance of 1189.06 feet; thence South 87°44'49" West, 21.32 feet to the Northeast corner of Lot 42 of Vista Run II and the point of beginning of the lands to be described; thence South 87°44'49" West along the North line of said Lot 42 a distance of 90.93 feet to the West line of said Lot 42; thence South 12°57'05" East along said West line 157.08 feet to the North line of Alpine Drive; thence Westerly 461.37 feet along said North line and the arc of a curve to the right, whose radius is 570.00 feet and whose chord bears North 79°45'48" West, 448.88 feet to the Easterly line of Lot 2 of Certified Survey Map No. 12082; thence North 33°15'22" East along said Easterly line 142.95 feet to the Southerly line of said Lot 2; thence South 72°02'48" East along said Southerly line 171.03 feet; thence North 87°44'49" East along said Southerly line 97.43 feet to the Easterly line of said Lot 2; thence North 06°04'19" East along said Easterly line 237.51 feet; thence North 02°33'43" West along said Easterly line 318.29 feet; thence North 11°11'37" East along said Easterly line 107.09 feet; thence North 32°35'36" East, 106.19 feet; thence North 45°59'47" East along said Easterly 104.55 feet; thence North 86°49'16" East along said Easterly line 135.40 feet to the West line of Vail Lane; thence South 03°10'44" East along said East line 86.77 feet; thence Southwesterly 20.07 feet along said West line and the arc of a curve to the right, whose radius is 15.00 feet and whose chord bears South 35°08'59" West, 18.61 feet to the Northwesterly line of Aspen Lane; thence Southwesterly 118.68 feet along said Northwesterly line and the arc of a curve to the left, whose radius is 180.00 feet and whose chord bears South 54°35'24" West, 116.54 feet; thence South 54°17'55" East, 60.00 feet to the Southeasterly line of Aspen Lane; thence Northeasterly 107.06 feet along said Southeasterly line and the arc of a curve to the right, whose radius is 120.00 feet and whose chord bears North 51°15'40" East, 103.35 feet; thence North 86°49'16" East along said Southeasterly line 27.26 feet to the West line of Outlot 2 of Vista Run; thence South 03°10'44" East along said West line 410.26 feet; thence South 04°28'40" West along said West line 243.81 feet to the Northerly line of Lot 24 of Vista Run; thence South 79°19'57" West along said North line, 140.79 feet to the East line of Aspen Lane; thence Northeasterly 12.14 feet along said East line and the arc of a curve to the right, whose radius is 295.00 feet and whose chord bears North 07°19'09" West, 12.14 feet; thence South 87°44'49" West, 38.90 feet to the point of beginning.

Said lands contain 327,947 square feet or 7.53 acres

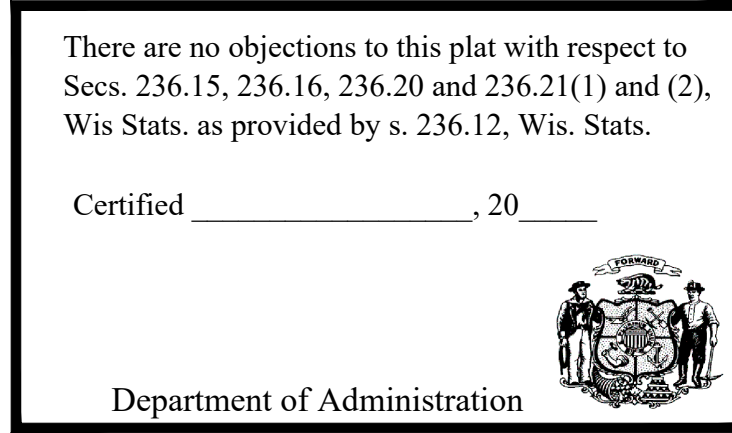
That I have made such survey, land division and plat by the direction of the owner(s) of said lands.

That such plat is a correct representation of all the exterior boundaries of the lands surveyed and the division thereof made.

That I have fully complied with the provisions of Chapter 236 of the Wisconsin State Statutes and the subdivision regulations of the Village of Sussex in surveying, dividing and mapping the same.

Dated this 3rd day of October, 2022.

Revised this 19th day of October, 2022.



Keith A Kindred, PLS 2082

UTILITY EASEMENT PROVISIONS

An easement for electric, natural gas, and communications service is hereby granted by

VISTA RUN LLC, Grantor, to

WISCONSIN ELECTRIC AND POWER COMPANY and WISCONSIN GAS, LLC, Wisconsin corporations doing business as We Energies, Grantee

SPECTRUM MID-AMERICA, LLC, Grantee

WISCONSIN BELL, INC, doing business as AT&T Wisconsin, a Wisconsin corporation, Grantee

their respective successors and assigns, to construct, install, operate, repair, maintain and replace from time to time, facilities used in connection with overhead and underground transmission and distribution of electricity and electric energy, natural gas, telephone and cable TV facilities for such purposes as the same is now or may hereafter be used, all in, over, under, across, along and upon the property shown within those areas on the plat designated as "Utility Easement Areas" and the property designated on the plat for streets and alleys, whether public or private, together with the right to install service connections upon, across, within and beneath the surface of each lot to serve improvements, thereon, or on adjacent lots; also the right to trim or cut down trees, brush and roots as my be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. The Grantees agree to restore or cause to have restored, the property, as nearly as is reasonably possible, to the condition existing prior to such entry by the Grantees or their agents. This restoration, however, does not apply to the initial installation of said underground and/or above ground electric facilities, natural gas facilities, or telephone and cable TV facilities or to any trees, brush or roots which may be removed at any time pursuant to the rights herein granted. Buildings shall not be placed over Grantees' facilities or in, upon or over the be property within the lines marked "Utility Easement Areas" without prior written consent of Grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered by more than four inches without written consent of grantees.

The grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.

LIMITED LIABILITY OWNER'S CERTIFICATE OF DEDICATION:

Vista Run, LLC, a limited liability company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said corporation caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this plat.

Vista Run LLC, does further certify that this plat is required by S236.10 or S236.12 to be submitted to the following for approval or objection:

- 1) Department of Administration
- 2) Village of Sussex
- 3) Waukesha County Department of Parks and Land Use

IN WITNESS WHEREOF, said Vista Run LLC, has caused these presents to be signed by Steve DeCleene, President of Neumann Developments, its sole member, at _____, Wisconsin, and its corporate seal to be hereunto affixed on this _____ day of _____.

In Presence of:

Steve DeCleene, President

STATE OF WISCONSIN)

_____ COUNTY) SS

Personally came before me this _____ day of _____, 20____, the above named Steve DeCleene, President of Neumann Developments, its sole member of the above named corporation, to me known to be such member of said corporation, and acknowledged that they executed the foregoing instrument as such officers as the deed of said corporation, by its authority.

Notary Public

_____ County, Wisconsin

My Commission Expires _____

CONSENT OF CORPORATE MORTGAGEE:

Midland States Bank a Illinois corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, mortgagee of the above described land, does hereby consent to the surveying, dividing, mapping and dedication as presented on this subdivision and further consents to the above certified owners.

IN WITNESS WHEREOF, Midland States Bank has caused these presents to be signed by _____, its _____, and its corporate seal to be hereunto affixed this ____ day of _____, 20 ____.

STATE OF ILLINOIS)

_____ COUNTY) SS)

Personally came before me this ____ day of _____, 20 ____ to me known to be the person who executed the foregoing instrument as such by its authority.

(Notary Seal) _____, Notary Public, _____ County, Illinois.

My commission expires _____.

VISTA RUN IV

PART OF OUTLOT 1 OF VISTA RUN BEING A PART OF LOT 4 OF CERTIFIED SURVEY MAP NO. 12082, BEING A PART OF THE SE. 1/4 AND NE. 1/4 OF THE SW. 1/4 AND THE SW. 1/4 AND NW 1/4 OF THE SE. 1/4 OF SECTION 21, T.8N., R.19E., VILLAGE OF SUSSEX, WAUKESHA COUNTY, WISCONSIN.

VILLAGE BOARD APPROVAL CERTIFICATE:

Approved that the Plat of VISTA RUN IV, in the Village of Sussex, is hereby approved by the Village Board.

All conditions have been met as of the _____ day of _____, 20____.

Date: _____ Signed _____
Anthony J. LeDonne, Village President

Date: _____ Signed _____
Jennifer Moore, Village Clerk

PLAN COMMISSION APPROVAL CERTIFICATE:

APPROVED, that the Plat of VISTA RUN IV, in the Village of Sussex, is hereby approved by the Plan Commission.

Approved as of the _____ day of _____, 20____.

Date: _____ Signed _____
Anthony J. LeDonne, Chairperson

Date: _____ Signed _____
Jennifer Moore, Village Clerk

CERTIFICATE OF VILLAGE TREASURER:

STATE OF WISCONSIN)

WAUKESHA COUNTY) SS

I, Jennifer Moore, being duly elected, qualified and acting Treasurer of the Village of Sussex, do hereby certify that the records in my office show no unredeemed tax sales and no unpaid taxes or special assessments as of _____ affecting the lands included in the plat of Vista Run IV.

Date _____
Treasurer-Jennifer Moore

CERTIFICATE OF COUNTY TREASURER:

STATE OF WISCONSIN)

WAUKESHA COUNTY) SS

I, Pamela Reeves, being duly elected, qualified and acting Treasurer of WAUKESHA County, do hereby certify that the records in my office show no unredeemed tax sales and no unpaid taxes or special assessments as of _____ affecting the lands included in the plat of Vista Run IV.

Date _____
Waukesha County Treasurer - Pamela Reeves

SURVEYOR:
KEITH A. KINDRED, PLS S-2082
SEH, INC.
501 MAPLE AVE.
DELAFIELD, WI 53018
(414) 949-8919
KKINDRED@SEHINC.COM

SURVEY FOR:
VISTA RUN, LLC
NEUMANN COMPANIES INC.
N27W24025 PAUL CT.
STE 100
PEWAUKEE, WI 53072
262-542-9200





N64W23760 Main Street
Sussex, Wisconsin 53089
Phone (262) 246-5200
FAX (262) 246-5222
Email: info@villagesussex.org
Website: www.villagesussex.org

MEMORANDUM

To: Gabe Gilbertson, Community Development Director
From: Judith A. Neu, Village Engineer
Date: December 6, 2022
Re: Vista Run IV Final Plat

Following are comments and concerns of Engineering Division personnel regarding the Vista Run IV Final Plat dated October 19, 2022, that was submitted by S.E.H., Inc. on behalf of Neumann Development and was received in this office on December 5, 2022.

1. I'm confused by the We Energies easements on sheet 3 of 5. The We Energies plans that I've seen show all of the pedestals and transformers within the 15-foot easement, but your plat implies that those pedestals and transformers will instead be located within the private drainage easements shown along lots 63-80. It's probably not a good idea to have these pedestals and transformers installed where a ditch is supposed to be located.
2. Please verify with your engineering team to see if the 20-foot private drainage easement is necessary south of Outlot 16. The grading plan does not show a swale in this area.
3. Private Drainage Easements note on sheet 1 of 5 – based on the grading plan, these easements should be granted to the owners in the previous subdivisions as well.
4. Please label the Point of Beginning of your legal description on one of the sheets.
5. Per 236(4)(b) please add a note on one of the maps that Outlot 16 is being Dedicated to the Public. Please add to General Note 2 on sheet 4 of 5 saying the same.
6. In General Note 3 on sheet 4 of 5, what does the phrase “Planned Development Below” mean? Should it read “overlay” instead of “below”?
7. I found two discrepancies in distances shown on this plat. Could you please verify the distances and correct the plat as necessary, including adding recorded as distances if appropriate.
 - a. On the north line of Lot 24 of Vista Run, I believe the recorded as distance is 140.74, but it's listed as 140.79 on the face of the Vista Run IV plat and in the Surveyor's Certificate.
 - b. The distance across Aspen Road between lots 69 and 89 was recorded as 60.11 feet in the Vista Run plat but add up to 60.12 feet on the Vista Run IV plat and in the Surveyor's Certificate.

If you have any questions or comments, please respond in writing.

Exhibit “A”

Village of Sussex Plan Commission

Standard Conditions of Approval Plan of Operation and Site Plan

The Plan Commission for the Village of Sussex authorizes the Building Inspector to issue a building permit to the Petitioner and approves the general layout, architectural plans, ingress and egress, parking, loading and unloading, landscaping, open space utilization, site plan and plan of operation subject to the following conditions:

1. Presentation compliance. Subject to Petitioner operating the premises at all times in substantial conformity with the presentation made to the Village Plan Commission, as modified or further restricted by the comments or concerns of the Village Plan Commission.

2. Inspection compliance. Subject to the Petitioner submitting to and receiving the approval from the Village Administrator, written proof that the Village Building Inspector and Fire Chief have inspected the subject property and have found that the subject property is in substantial compliance with applicable federal, State, and local laws, statutes, codes, ordinances, policies, guidelines and best management practices, prior to this approval being effective.

3. Regulatory compliance. Subject to the Petitioner and Owner fully complying with all Village, County of Waukesha, State of Wisconsin and federal government codes, ordinances, statutes, rules, regulations and orders regarding the premises, including but not limited to compliance with Section 17.1000 of the Village of Sussex Zoning Code entitled “Site Plan Review and Architectural Control,” as determined by Village Staff.

4. Satisfaction of Engineer. Subject to the Developer satisfying all comments, conditions, and concerns of the Village Engineer regarding the Petitioner’s application prior to this approval being effective.

5. Required plans. Subject to the Developer submitting to and receiving written approval from the Village Administrator of all of the following plans as deemed necessary by the Village Administrator:

- A. Landscaping plan
- B. Parking plan
- C. Lighting plan
- D. Signage plan
- E. Traffic plan
- F. Grading plan

- G. Tree preservation plan
- H. Open space plan
- I. Water plan
- J. Surface and stormwater management plan
- K. Sewer plan
- L. Erosion control plan
- M. _____
- N. _____
- O. _____
- P. _____

6. Screening of All Dumpsters. Subject to the Petitioner and Owner screening all dumpsters as required by the ordinance to the satisfaction of the Village Administrator.

7. Payment and reimbursement of fees and expenses. Subject to the Petitioner and Owner paying all costs, assessments and charges due and owing to the Village of Sussex either by the Petitioner or imposed on the subject property, including, but not limited to, real estate taxes, personal property taxes, utility bills, special assessments, permit fees, license fees and professional fees which shall include all costs and expenses of any type that the Village incurs in connection with Petitioner’s application, including the cost of professional services incurred by the Village (including engineering, legal and other consulting fees) for the review of and preparation of the conditions of approval, attendance at meetings or other related professional services for this application, as well as for any actions the Village is required to take to enforce any of the conditions of this approval due to a violation of these conditions by the Petitioner or the Owner, as authorized by law.

8. Condition if the Property is in the B-4 Central Business District. If the property is in the B-4 Central Business District, the Petitioner shall comply with the standards and conditions found within the Village of Sussex Downtown Design and Development Plan and other plans as may be approved from time to time by the Community Development Authority in its role as a Redevelopment Authority to guide development within the Village’s Downtown.

9. Subject to acceptance. The Owner by requesting a permit either directly or through an agent, and accepting the same is acknowledging that they have received a copy of this conditional approval, that they understand and accept the same, and that upon failure to satisfy these conditions this approval is void, and the same is deemed to not have been approved, and the Petitioner will therefore need to re-commence the application process.

10. Any official named in this document can appoint a designee to perform his or her duties.

Model Standard Conditions of Approval for Plats.

1. Subject to the developer satisfying all comments, conditions, and concerns of the Village Engineer, the Village Staff, and all reviewing, objecting, and approving bodies, including, but not limited to the State of Wisconsin Laws; and Waukesha County; in regard to the preliminary plat and final plat, prior to commencing construction of any improvement, whether public or private, or site development or approval of the final plat, whichever is earlier.
2. Subject to the Developer submitting to the Village Clerk and receiving approval as to form from the Village Attorney and as to the amount from the Village engineer, a letter of credit or cash or other means of security as allowed by law and subject to the Developer submitting to and receiving from the Village Attorney and Village Engineer, approval of a Developer's Agreement for the improvements (including all public, private, and site development improvements), prior to commencing construction of any improvement, whether public or private, or site development or approval of the final plat, whichever is earlier.
3. Subject to the Developer submitting to and receiving from the Village Attorney and Village Administrator, approval of the final draft of the deed restrictions, prior to commencing construction of any improvement, whether public or private, or site development, whichever is earlier.
4. Subject to the Developer applying for and receiving from the Plan Commission for the Village of Sussex, and the Sussex Village Board, (Waukesha County, if necessary), all necessary variances (if any) to the Village of Sussex Zoning Code (or Waukesha County Zoning Code if necessary), the Village of Sussex Shoreland and Floodland Protection Ordinance (Waukesha County, if necessary), and the Village of Sussex Land Division and Development Ordinance, prior to commencing construction of any improvement, whether public or private, or site development, whichever is earlier.
5. Subject to and prior to the Village signing the final plat, all other required signatures must be inscribed on the final plat.
6. Subject to the Developer and Owner satisfying all comments, conditions, and concerns of all rezoning ordinances, which have been approved in regard to the subject property, prior to commencing construction of any improvement, whether public or private, or site development, whichever is earlier.
7. Subject to the Developer submitting to and receiving approval from the Village Plan Commission of the Village of Sussex and the Sussex Village Board as necessary of landscaping, signage, phasing, street name, and entrance plan prior to commencing construction of any improvements, whether public or private, or site development, whichever is earlier.
8. Subject to the Developer submitting to and receiving approval from the Village Engineer, and Village Staff of all necessary plans including, but not limited to utility,

roadway, landscaping, sidewalk, street lighting, storm water management, grading, erosion control, private utility, easements and phasing plans.

9. Subject to the Developer submitting the preliminary plat and final plat to and receiving approval from the Fire, Police, and Development Department of the same, including, but not limited to, approval of any and all issues regarding street names, and the uniform address system, prior to commencing construction of any improvements, whether public or private, or site development, whichever is earlier.
10. Professional Fees. Petitioner shall, on demand, reimburse the Village for all costs and expenses of any type that the Village incurs in connection with this rezoning petition, including the cost of professional services incurred by the Village (including engineering, legal, planning and other consulting fees) for the review and preparation of required documents or attendance at meetings or other related professional services for this application, as well as to enforce the conditions in any conditional rezoning ordinance due to a violation of these conditions.
11. Payment of Charges. Any unpaid bills owed to the Village by the owner of subject lands or his or her tenants, operators or occupants, for reimbursement of professional fees (as described above); or for personal property taxes; or for real property taxes; or for licenses, permit fees or any other fees owed to the Village: shall be placed upon the tax roll for the subject property if not paid within thirty (30) days of billing by the Village, pursuant to Section 66.0627. Wisconsin Statutes. Such unpaid bills also constitute a breach of the requirements of any conditional rezoning ordinance that is subject to all remedies available to the Village, including possible cause for termination of the conditional rezoning ordinance.
12. Subject to the Developer satisfying and establishing all of the infrastructure improvements prior to the Developer presenting a Final plat to the Village except as authorized in the Developers Agreement.
13. Subject to the Developer satisfying all of the aforementioned conditions within one (1) year of the Village Board granting conditional final plat approval.