



N64W23760 Main Street
Sussex, Wisconsin 53089
Phone (262) 246-5200
FAX (262) 246-5222
Email: info@villagesussex.org
Website: www.villagesussex.org

AGENDA
VILLAGE OF SUSSEX
PLAN COMMISSION MEETING
6:30 PM TUESDAY, APRIL 18, 2023
SUSSEX CIVIC CENTER – BOARD ROOM 2nd FLOOR
N64W23760 MAIN STREET

Pursuant to the requirements of Section 19.84, Wis. Stats., notice is hereby given of a meeting of the Sussex Plan Commission, at which a quorum of the Village Board may attend. If a Quorum is present the Chairperson shall state, "Please let the minutes reflect that a quorum of the Village Board is present and may be making comments during public comment or if the rules are suspended to allow so.)

1. Roll call.
2. Consideration and possible action on the minutes of the Plan Commission meeting of March 21, 2023.
3. Consideration and possible action on Permitted Uses and Plans.
 - a. Discussion and possible action on a Plan of Operation for Redemption Fitness located at W227N6193 Sussex Rd.
 - b. Discussion and possible action on a Site Plan review for a generator at a wireless communication tower owned by AT&T located at W240N6585 Maple Avenue.
4. Conditional Use Public Hearing(s) and consideration and possible action on Conditional Use Permits and Plans on the following items:
 - a. Consideration of a Conditional Use Permit for the Cruise In car and bike night at Sussex Bowl located at N64W24576 Main Street.
5. Consideration and possible action on CSM's, Plats, Zoning and Planning Items.
 - a. Discussion and possible action for a Site Plan and Plan of Operation in conjunction with a Special Event Permit for a proposed car and bike night at Sussex Bowl located at N64W24576 Main Street.
 - b. Discussion and possible action for a Sign Permit application for a new monument sign with an Electronic Message Sign component in accordance with Section 17.0807(C) for Sussex Bowl located at N64W24576 Main Street.
6. Other items for future discussion.
7. Adjournment.

Anthony LeDonne
Chairperson

Jeremy J. Smith
Village Administrator

Please note that, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact the Village Clerk at 246-5200.

**DISCLAIMER- THE FOLLOWING ARE DRAFT MINUTES FROM
THE FINANCE COMMITTEE AND ARE
SUBJECT TO CHANGE UPON APPROVAL OF THE VILLAGE BOARD**

**VILLAGE OF SUSSEX
PLAN COMMISSION
6:30PM TUESDAY, MARCH 21, 2023
SUSSEX CIVIC CENTER – BOARD ROOM 2ND FLOOR
N64W23760 MAIN STREET**

The meeting was called to order by President LeDonne at 6:30pm at the Sussex Civic Center – Board Room 2nd Floor N64W23760 Main Street, Sussex, WI.

Members present: Trustee Greg Zoellick, Commissioners, Roger Johnson, Debbie Anderson, Mike Knapp, and Village President Anthony LeDonne

Members excused: Commissioners Mike Schulist and Jim Muckerheide

Others present: Community Development Director Gabe Gilbertson, Village Administrator Jeremy Smith, Village Attorney John Macy, Village Clerk Jennifer Moore, Deputy Clerk Jen Boehm, and Trustee Scott Adkins

A quorum of the Village Board was not present at the meeting.

Consideration and possible action on the minutes on the Plan Commission meeting of February 21, 2023.

A motion by Johnson, seconded by Zoellick to approve the minutes of the Plan Commission meeting of February 21, 2023 as presented. Motion carried 5-0

Consideration and possible action on the T-Mobile Freiheit Court Cell Tower Not Substantial Modification Determination

A motion by LeDonne, seconded by Johnson to determine that the proposed collocation on the cell tower located at N64W24837 Freiheit Court are not substantial. Motion carried 5-0

Consideration and possible action on the T-Mobile Freiheit Court Cell Tower Plan of Operation and Site Plan Review

A motion by Johnson, seconded by Anderson to approve the site plan subject to the applicant submitting revised plans with the equipment located inside an equipment shelter or applying for a conditional use permit for the outdoor storage in conformance with Section 17.0500(A)(11)(a). Motion carried 5-0

Consideration and possible action on the Rezoning Ordinance for the parcel identified as Tax Key No. 203.993.001 to the TS-1 Traditional Suburban Single Family Residential District with a Planned Development Overlay District.

A representative for the petitioner was present to answer any questions. A motion by Johnson seconded by Anderson to recommend to the Village Board approval of the Ordinance to rezone the parcel identified by Tax Key No. 203.993.001 to TS-1, Traditional Suburban Single-Family Residential with a Planned Development Overlay District conditioned upon the approval of a 30' rear yard setback, Preliminary Plat and the Developer's Agreement. Motion carried 5-0

Consideration and possible action on the Preliminary Plat for the Golden Fields of Sussex development located at N74W24659 Lauren Drive.

Motion by Anderson, seconded by Johnson to recommend to the Village Board approval of the Preliminary Plat for Golden Fields of Sussex subdivision on the property identified by Tax Key No. 203.999.001 subject to the following conditions:

1. Standard conditions of approval for Preliminary Plats.
2. Final review and conditions by the Village Engineer in the memo dated March 10, 2023.
3. Final review and conditions from Waukesha County and the Wisconsin DOA.
4. The PDO Rezoning Ordinance being approved by the Village Board.
5. A Developer's Agreement being approved by the Village Board.
6. A Tree Preservation Plan being approved by the Parks and Rec Board.
7. The standard conditions of Exhibit A.

Motion Carried 5-0

Consideration and possible action on the Special Event Permit review for a proposed car and bike night at Sussex Bowl located at N64W24576 Main Street.

The applicant was present to answer any questions. A motion by Johnson, seconded by LeDonne to approve the application for a special for the dates of May 8, May 22, June 12, June 26, July 10, and July 24, subject to the conditions in the Plan Commission memo and subject to the Plan Commission reviewing and approving a final Plan of Operation and Site Plan.

Motion Carried 5-0

Consideration and possible action on an Ordinance to repeal and recreate Section 17.0807(C)(1) regarding Electronic Message Signs in Section 17.0800 Signs and to repeal and recreate sub section 17.0704(a) regarding Emergency Generators in Section 17.0704 Accessory Use and Structures Regulations.

A motion by LeDonne, seconded by Zoellick to recommend to the Village Board approval of the Ordinance to repeal and recreate Section 17.0807(C)(1) regarding Electronic Message Signs in Section 17.0800 Signs and Section 17.0704(a) regarding Emergency Generators in Section 17.0704 Accessory Use and Structures Regulations.

Motion carried 5-0

Other Items for Future Discussion

Adjournment

A motion by LeDonne, seconded by Zoellick to adjourn the meeting at 7:36p.m.

Motion carried 5-0

Respectfully submitted,
Jennifer Moore
Village Clerk



N64W23760 Main Street
Sussex, Wisconsin 53089
Phone (262) 246-5200
FAX (262) 246-5222
Email: info@villagesussex.org
Website: www.villagesussex.org

MEMORANDUM

TO: Plan Commission
FROM: Gabe Gilbertson, Community Development Director
RE: Plan Commission meeting of April 18, 2023
DATE April 5, 2023

All Code Sections in this memo refer to the March 25, 2014 Sussex Municipal Code Chapter 17 with subsequent amendments thereto.

02. Minutes of the Plan Commission meeting of March 21, 2023.

03. Consideration and possible action on Permitted Uses and Site Plans:

A. Consideration and possible action on a Plan of Operation for Redemption Fitness located at W227N6193 Sussex Rd.

This site is zoned M-1. Redemption Fitness is the new owner/operator of the CrossFit business, formerly CrossFit Blue Moon, at W227N6193 Sussex Road. The subject property has an active Conditional Use Permit for the CrossFit business and the applicant has stated that the plan of operation is staying the same as it exists today – including hours of operation.

The hours of operation approved under the existing Conditional Use Permit is Monday through Thursday 5:00 a.m. to 8:00 p.m., Friday 5:00 a.m. to 7:00 p.m., Saturday 7:00 a.m. to 1:00 p.m. and possible Sunday hours. The site has 25 parking stalls and this user requires 15 per code. It appears the other tenant space in this building is currently vacant.

Policy Question:

1. Are there any concerns with the plan of operation?
2. Are there any property maintenance concerns that need to be addressed at this time?

Action Items:

1. Act on the Plan of operation

Staff Recommendation: Staff recommends approval of the Redemption Fitness Plan of Operation (W227N6193 Sussex Road) subject to the standard conditions of Exhibit A.

B. Site Plan review for a generator at a wireless communication tower owned by AT&T located at W240N6585 Maple Avenue.

The applicant, working on behalf of AT&T, is proposing an outdoor emergency generator as part of the wireless communications facilities located under and within one of the high-tension power lines at the subject property. The subject property is undeveloped with the Union Pacific Railroad to the south, Maple Avenue on the east, and undeveloped lands to the west and north.

The submitted plans show the addition of a 16' by 8' fenced enclosure with an emergency generator. The emergency generator would be located within a manufactured enclosure to reduce the noise impact. For the applicant to obtain a building permit for the installation of the generator, the Plan Commission must first approve the Plan of Operation and Site Plan.

Policy Questions:

1. Are there any concerns with the submitted site plan?

Action Items:

1. Act on the site plan.

Staff Recommendation: Staff recommends the Plan Commission approve the site plan for the emergency generator located at W240N6585 Maple Avenue.

04. Conditional Use Public Hearing(s) and consideration and possible action on Conditional Use Permits and Plans:

A. Consideration of an amendment to the 2020 Conditional Use Permit for a Cruise In car and bike night at Sussex Bowl located at N64W24576 Main Street.

The subject property is zoned B-1 Neighborhood Business District. Sussex Bowl submitted an application to hold a Cruise In car and bike night on Mondays in May through September. The application states that setup would begin at 3:00 pm, the event would begin at 4:00 pm, there would be live music from 6:00 pm until 9:00 pm, and the event would finish at 10:00 pm.

Sussex Bowl has an existing conditional use permit for the Bowling Alley, outdoor operations that include volleyball, bag tournaments, and the outdoor bar. Since the proposed car and bike night would be in addition to those items and would change their plan of operation and site plan, an amendment to the conditional use permit is required.

The Plan Commission reviewed a Special Event Permit application for Sussex Bowl to hold the car and bike night in their parking lot on a limited basis of two times per month for May, June, and July to allow the applicant the ability to start advertising.

The Plan Commission agreed to the event beginning at 4:00 pm, outdoor music beginning at 5:00 pm and ending at 8:00 pm with the event ending at 9:00 pm and cleanup being completed by 10:00 pm.

The Petitioner will need to prove the standards/conditions attached to this memo during the Public Hearing process. The Plan Commission may add additional conditions for the Petitioner to meet in the Conditional Use. The shaded areas (if any) reflect items in the code that are unlikely to be meritorious to the application or are administrative in nature.

Policy Question:

1. There are no policy questions this month as this item is on the agenda for scheduling purposes only.
 - a. Submitting to Village Staff an executed agreement between Sussex Bowl and the Wessex Center for the use of the Wessex Center parking lot for the evenings and hours that the event is to be held. This plan will be attached as Exhibit C.
 - b. The applicant will need to submit security details to the Village on how security will be addressed at the events or submit a security plan to the Village for review and approval by the Police, Fire, and Community Development Departments.
 - c. The property owner will need to amend their liquor license to include the additional dates based on what the Plan Commission approves.

Action Items:

1. Direct staff to schedule the public hearing.

Staff Recommendation: Staff recommends scheduling the public hearing for the November meeting.

05. Consideration and possible action on CSM's, Plats, Zoning and Planning Items:

A. Plan of Operation and Site Plan review associated with a special Event Permit for a car and bike night at Sussex Bowl located at N64W24576 Main Street.

The subject property is zoned B-1 Neighborhood Business District. The Plan Commission reviewed a Special Event Permit application for Sussex Bowl to hold a car and bike night in their parking lot. Following discussion with the applicant, the Plan Commission approved the event to occur two times a month for May, June, and July with event beginning at 4:00 pm, outdoor music beginning at 5:00 pm and ending at 8:00 pm with the event ending at 9:00 pm and cleanup being complete by 10:00 pm.

Since the previous Plan Commission meeting, the applicant has submitted a revised Plan of Operation and Site Plan. The Site Plan is now reserving 30 parking stalls for customers along the east edge of the property. Sussex Bowl requires a total of 87 parking stalls and there are 125 parking stalls on the subject property. Section 17.0710(B) of the Auxiliary Uses section of the Zoning Code does allow for the Plan Commission to impose special requirements for items including, but not limited to, parking, understanding that these are unique situations and temporary uses. To accommodate the overflow of parking in this situation, Sussex Bowl has a verbal agreement with the Wessex Center for the use of their 67-stall parking lot. Wessex Center does not use its parking lot during the time the event is occurring and these additional stalls will function as overflow parking for the event.

The applicant is also requesting that the event begins at 4:00 pm, with live music from 5:00 pm until 8:00 pm, and recorded music from 8:00 pm until 10:00 pm. At which point they would stop serving alcohol and the outdoor event portion would end. The event would also be a combination of cars, bikes, and trucks – rather than an individual car night and bike night.

Policy Questions:

1. Are there any concerns with the proposed special event?
 - a. Staff will need a copy of the agreement between Sussex Bowl and Wessex Center for the use of their parking.
 - b. Plan Commission should discuss the new location of the stage and the new times requested for the event.

Action Items:

1. Act on the Plan of Operation and Site Plan for the Sussex Bowl Cruise In car/bike night.

Staff Recommendation: Staff recommends the Plan Commission approve the Plan of Operation and Site Plan subject to the following conditions:

1. The Plan Commission approving a site plan that depicts the designated area for the car/bike show, concession/drink stand, and outdoor music. The site plan is attached as Exhibit A.
2. The Plan Commission approving a Plan of Operation for the subject property. The Plan of Operation shall be reviewed and approved by the Police and Fire Departments. The Plan of Operation is attached as Exhibit B.
3. Submitting to Village Staff an executed agreement between Sussex Bowl and the Wessex Center for the use of the Wessex Center parking lot for the evenings and hours that the event is to be held. This plan will be attached as Exhibit C.
4. The Village reserves the right to rescind its approval of this Temporary Use Permit based upon the finding that the use is incompatible and a nuisance to surrounding uses, that the use is not in the public interest, or that the use adversely affects the use of adjacent lands, provided the Applicant is given an opportunity to be heard on the matter and correct the incompatibilities.
5. The activities approved for the event are approved for the following Mondays for the year 2023: May 8th, May 22nd, June 12th, June 26th, July 10th, and July 24th. The event is permitted to begin at 4:00 pm, music on the outdoor stage to start at 5:00 pm and ending at 8:00 pm, and the event ending at 10:00 pm. Clean up and securing the event area shall be completed within 1 hour after end time.
6. Submit a security plan to the Village for review and approval by the Police, Fire, and Community Development Departments.

B. Review and possible approval of Sign Permit for an electronic reader board as part of a monument sign for Sussex Bowl located at N64W24576.

The Subject property is zoned B-1 Neighborhood Business District. Optimum Signs submitted a sign permit application on behalf of Sussex Bowl to replace the existing

pole sign at the subject property with a new monument sign. The submitted plans show a new monument sign in the same location as the old pole sign measuring approximately 9 feet tall. An approximately 5 feet by 5 feet cabinet would be mounted on top of an electronic reader board which would both be on top of a stone veneer base. Sealed wood beams would finish the edges of the monument sign cabinet and reader board.

Typically, monument sign, as long as they meet the intentions of the Sussex Design Standards do not require Plan Commission approval. However, Section 17.0807(C) requires electronic message signs to receive Plan Commission approval subject to the Plan Commission making the following findings for a permit to be issued:

1. The message sign is part of a ground or monument sign. Electronic Message Signs that are time and temperature devices only may be allowed as a wall sign, or projecting sign, although no time and temperature device shall be located closer than 750 feet from another time and temperature device.
2. The sign will not interfere with the visibility of any traffic signal.
3. The character and design of the sign is compatible with the general area and building, and that the impact of such a sign will not visually impact any nearby residential areas.
4. Multi-tenant buildings shall coordinate such that only one electronic message sign shall be allowed for the Development.

Policy Questions:

1. Does the Plan Commission make the following findings as listed:
 - a. The message sign is part of a ground or monument sign. Electronic Message Signs that are time and temperature devices only may be allowed as a wall sign, or projecting sign, although no time and temperature device shall be located closer than 750 feet from another time and temperature device.
 - b. The sign will not interfere with the visibility of any traffic signal.
 - c. The character and design of the sign is compatible with the general area and building, and that the impact of such a sign will not visually impact any nearby residential areas.
 - d. Multi-tenant buildings shall coordinate such that only one electronic message sign shall be allowed for the Development.

Action Item:

1. Make the previous four findings and approve the Sign Permit.

Staff Recommendation: Staff recommends the Plan Commission make the four findings as listed and approve the sign permit allowing a new monument sign with reader board at Sussex Bowl

6. **Other Items for future discussion.**

7. **Adjournment.**



Project Name _____

Tax Key # 242.003

VILLAGE OF SUSSEX PLAN OF OPERATION PROCEDURE LIST

Pre-application conference must be arranged with Gabe Gilbertson, Community Development Director. Please contact us at 262-246-5215 prior to submitting your application.

Complete the following: Plan of Operation, Service Reimbursement Agreement, Emergency Contact and Wastewater Discharge Permit.

Submit the completed forms and the required fee by the last business day of the month for consideration for the next Plan Commission Agenda. Please note that submitting by the deadline does not guarantee placement on the Plan Commission Agenda. Completed forms can be emailed to ggilbertson@villagesussex.org.

The following fees are required at the time of submittal:

<input checked="" type="checkbox"/> Plan of Operation fee	\$175.00
<input type="checkbox"/> Conditional Use fee (if necessary)	\$210.00
<input type="checkbox"/> Pre Occupancy inspection fee	\$100.00

Please make check payable to: Village of Sussex (fees are non refundable)

Notes: _____

Additional fees are required for building permits, review fees, or other items depending upon the nature of your request.

Contact Name for meetings: Maggie Ludwig Phone # 414-704-5569
E-mail: maggie@redemptionfitnessand.com

For office use only:

Met with staff on: <u>4/4/23</u>
Paid fees on: <u>4/4/23</u> <u>SQUARE</u>
To be on the Plan Commission Agenda for: <u>4/18/23</u>
Original forms to the following:
Plan of Operation to Jeremy _____
Service reimbursement _____
Emergency Contact to Sheriff Dept _____
Wastewater Permit to WWTP _____
Any outstanding fees owed on the property? _____



PLAN OF OPERATION

To be used for a business with changes or new business in an existing building.

Is this request to be considered for a Conditional Use? _____ If yes, is this a new CU? _____

(Conditional Use Permits require a Public Hearing)

OR an amendment to a CU? _____

Tax Key # _____

Zoning: _____

Address of Tenant Space: 4227 N6193 Sussex Road, North Unit

1. Name of Business:

Redemption Fitness

Business

4227 N6193 Sussex Rd, Sussex, WI 53089 414-704-5569

Address

City, State, Zip

Phone #

Fax #

Maggie@redemptionfitnesswi.com
Email address

2. Business owner contact information:

Maggie Ludwig

Contact

200 Travis Lane, Waukegan, WI 53189 414-704-5569

Address

City, State, Zip

Phone #

Fax #

Maggie@redemptionfitnesswi.com
Email address

3. Building/Land owner contact information:

Anna Kowalsky

Contact

Menomonee Falls, WI 53051 414-732-7831

Address

City, State, Zip

Phone #

Fax #

anna.k@eurotechcorp.com
Email address

4. Number of Employees/Shifts: 5
Employees

1
Shifts

5. Days of Operation:

Put an X in box that applies:

Hours
Open for business

Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
X	X	X	X	X	X	X
X	X	X	X	X		

6. Is this an extension of an existing operation? _____
7. On a separate sheet of paper explain your business use and/or the change to your business. Attach a list of all items to be sold, produced or stored on the premises. Purchased an existing gym.
8. Is a liquor license or any other special license to be obtained from the Village Board or State Licensing Agencies? No Do you need an Outdoor Establishment Permit? No
 If yes, explain: _____
 If yes, please obtain and complete permit application.

9. If your proposed operation will utilize a liquor license, what types of entertainment are you proposing? N/A

10. Do you feel there will be any problems such as odor, smoke or noise resulting from this operation? No If yes, explain: _____

11. Dimension of area to be occupied _____ Total square footage 5,000 Sq Ft
 If applicable list square footage according to 1st floor _____ 2nd floor n/a

Please provide a copy of the site plan showing parking and layout of the building and if a multi tenant building, label the space which will be occupied by your business.

12. Parking:
 Total Number of Parking Spaces 10 Number of spaces needed per code _____
 Number of spaces allocated for employee parking _____
 Dimensions of parking lot _____ Is parking lot paved? _____

13. Signage: What type of signage are you proposing for your business?

 If applicable, complete a Sign Permit application and submit to the Building Inspection Dept. Please refer to Chapter 17.0800.

I have reviewed a copy of the Zoning Ordinance in the Village of Sussex and hereby agree to abide by the same, as well as any and all terms and conditions of any permit issued pursuant to this application.

I do swear to or affirm that all statements contained herein are true and correct to the best of our knowledge.

Maggie Ludwig 4-3-2023
 Name Date
Owner
 Title or Position

I am aware and approve of the business to be operating in the building owned by Anna Maria Kowalski.
Annamaria Kowalski 4-3-2023
 Name Date
Building owner
 Title or Position

Anne Marie Kowalski



WASTEWATER DISCHARGE PERMIT APPLICATION

Business Name: _____

Address: _____

Owner/Operator: _____

Standard Industrial Classification #: _____

How many people do you employ? 5

What are your businesses hours of work? 5:00-6:30

Who is responsible for water quality? (List job titles)

Time and Duration of Discharge: _____

Average and Peak Wastewater Flow Rates(Include any daily, monthly or seasonal variations):

Please describe the activities, facilities, and plant processes on the premises including all materials and types of materials which are or could be discharged:

Please list each product your business produces. (Include type, amount and rate of production):

What are the constituents and characteristics of your wastewater?

New construction: attach site plans, floor plans, mechanical and plumbing plans and details to show all sewers and appurtenances by size, location and elevation.

Print Form

Clear Form



Village of Sussex Fire Department
N63 W24335 Main Street
Sussex, Wisconsin 53089

Fire Station - *PHONE*
262-246-5197
Fire Station - *FAX*
262-246-5196

Waukesha County Sheriff – Sussex Office

Emergency Contact Form to be completed with Plan of Operation form.

Business Name: Redemption Fitness

Business Address: 10227 N6193 Sussex Rd, Sussex, WI 53089

Business Phone #: 414-704-5569

Business

Email: maggie@redemptionfitnesswi.com

Business Emergency Contacts

Name and Phone #: Steve Ludwig 262-751-6512

Name and Phone #: Ryan Healy 262-370-9220

Name and Phone #: _____

Building Owner Name: Anna Kowalsky 414-732-7831

Building Owner Email: annak@eurotechcorp.com

Building Owner Emergency Contacts

Name and Phone #: Anna Maria Kowalsky 414 732-7831

Name and Phone #: Serry Kowalsky 414 732-6777

Knox Box (if applies) Have locks been changed and new key provided to Fire Department? Yes No



Project Name _____
Tax Key # _____

VILLAGE OF SUSSEX
 PLAN OF OPERATION
 PROCEDURE LIST

Pre-application conference must be arranged with Gabe Gilbertson, Community Development Director. Please contact us at 262-246-5215 prior to submitting your application.

Complete the following: Plan of Operation, Service Reimbursement Agreement, Emergency Contact and Wastewater Discharge Permit.

Submit the completed forms and the required fee by the last business day of the month for consideration for the next Plan Commission Agenda. Please note that submitting by the deadline does not guarantee placement on the Plan Commission Agenda. Completed forms can be emailed to ggilbertson@villagesussex.org.

The following fees are required at the time of submittal:

_____ Plan of Operation fee	\$175.00
_____ Conditional Use fee (if necessary)	\$210.00
_____ Pre Occupancy inspection fee	\$100.00

Please make check payable to: Village of Sussex (fees are non refundable)

Notes: ___ Conditional Use Permit For AT&T back-up Natural Gas Install at the existing telecommunications facility within the existing compound and 8' x 16' compound expansion with 14' wide access gate.

Additional fees are required for building permits, review fees, or other items depending upon the nature of your request.

Contact Name for meetings: _MasTec Network Solutions Staff_ - Agent for AT&T

Phone # 773-453-9799 E-mail: Lisa.Cuvala@MasTec.com

For office use only:

Met with staff on: _____
Paid fees on: _____
To be on the Plan Commission Agenda for: _____
Original forms to the following:
Plan of Operation to Jeremy _____
Service reimbursement _____
Emergency Contact to Sheriff Dept _____
Wastewater Permit to WWTP _____
Any outstanding fees owed on the property? _____



PLAN OF OPERATION

To be used for a business with changes or new business in an existing building.

Is this request to be considered for a Conditional Use? _____ If yes, is this a new CU? _____

(Conditional Use Permits require a Public Hearing)

OR an amendment to a CU? _____

Tax Key # _____

Zoning: _____

Address of Tenant Space: _____

1. Name of Business:

Business _____

Address _____ City, State, Zip _____ Phone # _____

Fax # _____ Email address _____

2. Business owner contact information:

Contact _____

Address _____ City, State, Zip _____ Phone # _____

Fax # _____ Email address _____

3. Building/Land owner contact information:

Contact _____

Address _____ City, State, Zip _____ Phone # _____

Fax # _____ Email address _____

4. Number of Employees/Shifts: _____

Employees

Shifts

5. Days of Operation:

Put an X in box that applies:
Hours
Open for business

Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday

6. Is this an extension of an existing operation? _____
7. On a separate sheet of paper explain your business use and/or the change to your business. Attach a list of all items to be sold, produced or stored on the premises.
8. Is a liquor license or any other special license to be obtained from the Village Board or State Licensing Agencies? _____ Do you need an Outdoor Establishment Permit? _____
 If yes, explain: _____
 If yes, please obtain and complete permit application.
9. If your proposed operation will utilize a liquor license, what types of entertainment are you proposing? _____
10. Do you feel there will be any problems such as odor, smoke or noise resulting from this operation? _____ If yes, explain: _____
11. Dimension of area to be occupied _____ Total square footage _____
 If applicable list square footage according to 1st floor _____ 2nd floor _____

Please provide a copy of the site plan showing parking and layout of the building and if a multi tenant building, label the space which will be occupied by your business.

12. Parking:
 Total Number of Parking Spaces _____ Number of spaces needed per code _____
 Number of spaces allocated for employee parking _____
 Dimensions of parking lot _____ Is parking lot paved? _____

13. Signage: What type of signage are you proposing for your business?

If applicable, complete a Sign Permit application and submit to the Building Inspection Dept. Please refer to Chapter 17.0800.

I have reviewed a copy of the Zoning Ordinance in the Village of Sussex and hereby agree to abide by the same, as well as any and all terms and conditions of any permit issued pursuant to this application.

I do swear to or affirm that all statements contained herein are true and correct to the best of our knowledge.

 Name Date

 Title or Position

I am aware and approve of the business to be operating in the building owned by _____.

 Name Date

 Title or Position



N64W23760 Main Street
Sussex, Wisconsin 53089
Phone (262) 246-5200
FAX (262) 246-5222
Email: info@villagesussex.org
Website: www.villagesussex.org

**VILLAGE OF SUSSEX
PROFESSIONAL SERVICES REIMBURSEMENT NOTICE**

Pursuant to the Village of Sussex Ordinance No. 3.11, the Village of Sussex Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service and the fees incurred by the Village to the property owner incurring those fees even if the request is not approved. Also, be advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are the responsibility of the property owner even if the request is not approved. Imposition of any fees, costs or charges, however, is subjected to the property owner's appeal rights as described in said Village of Sussex Ordinances.

I, the undersigned, have been advised that, pursuant to said Village of Sussex Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village even if the request is not approved. In addition, I have been advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are my responsibility even if the request is not approved. By signing this document however, I am not waiving my appeal rights that are described in said Village of Sussex Ordinances.

PLEASE PRINT LEGIBLY

Name and Mailing Address of the Property Owner and /or Authorized Agent for Invoices:

Business Name: _____

Name of Owner and Address of the Property involved in the Request (if different from above):

Tax Key No. of the Property involved in the Request: SUXV_____

Signature of Property Owner and /or Authorized Agent

Date

Signature of Village Official Accepting Form

Date

A copy of this completed form shall be provided to the Village Clerk for billing purposes.



WASTEWATER DISCHARGE PERMIT APPLICATION

Business Name: _____

Address: _____

Owner/Operator: _____

Standard Industrial Classification #: _____

How many people do you employ? _____

What are your businesses hours of work? _____

Who is responsible for water quality? (List job titles)

Time and Duration of Discharge: _____

Average and Peak Wastewater Flow Rates(Include any daily, monthly or seasonal variations):

Please describe the activities, facilities, and plant processes on the premises including all materials and types of materials which are or could be discharged:

Please list each product your business produces. (Include type, amount and rate of production):

What are the constituents and characteristics of your wastewater?

New construction: attach site plans, floor plans, mechanical and plumbing plans and details to show all sewers and appurtenances by size, location and elevation.



Village of Sussex Fire Department
N63 W24335 Main Street
Sussex, Wisconsin 53089

Fire Station - *PHONE*
262-246-5197
Fire Station - *FAX*
262-246-5196

Waukesha County Sheriff – Sussex Office

Emergency Contact Form to be completed with Plan of Operation form.

Business Name: _____

Business Address: _____

Business Phone #: _____

Business Email: _____

Business Emergency Contacts

Name and Phone #: _____

Name and Phone #: _____

Name and Phone #: _____

Building Owner Name: _____

Building Owner Email: _____

Building Owner Emergency Contacts

Name and Phone #: _____

Name and Phone #: _____

Knox Box (if applies) Have locks been changed and new key provided to Fire Department? Yes No



at&t

Your world. Delivered.

AT&T SITE ID: WI1207

FA#: 10080330

WI1207

W240 N6585 MAPLE AVENUE

SUSSEX, WI 53089

GENERATOR PROJECT

APPLICABLE CODES

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:

- 2015 INTERNATIONAL BUILDING CODE (IBC)
- 2015 INTERNATIONAL FIRE CODE (IFC)
- 2015 INTERNATIONAL PROPERTY MAINTENANCE CODE (IPMC)
- 2015 INTERNATIONAL FUEL GAS CODE (IFGC)
- 2015 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
- 2015 INTERNATIONAL FIRE CODE (IFC)

IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL

GENERAL NOTES

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS REQUIREMENTS ARE NOT REQUIRED IN ACCORDANCE WITH THE CURRENT APPLICABLE BUILDING CODES. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE; NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS PROPOSED.

SITE INFORMATION

APPLICANT: AT&T TOWER ASSET GROUP
575 MOROSGO DR.
ATLANTA, GA 30324-3300

TOWER OWNER: INDEPENDENT

LATITUDE: 43° 08' 25.09" N (43.1403028)

LONGITUDE: 088° 13' 28.77" W (-88.2246611)

LAT/LONG TYPE: NAD-83

EXISTING ZONING: N/A

PROPOSED PROJECT AREA: INCREASE IN 128 S.F.

TYPE OF CONSTRUCTION: TYPE V-B

OCCUPANCY GROUP: U

JURISDICTION: TOWN OF LISBON, WI

PROJECT TEAM

CLIENT REPRESENTATIVE (NATIONAL):
MASTEC NETWORK SOLUTIONS
3443 AIRPORT RD
SACRAMENTO, CA 95834
CONTACT: CLEON MITCHELL
EMAIL: CLEON.MITCHELL@MASTEC.COM

CONSTRUCTION:
MASTEC NETWORK SOLUTIONS
710 BELDEN AVE.
ADDISON, IL 60101
CONTACT: JAMES FLOWERS
EMAIL: JAMES.FLOWERS@MASTEC.COM

ENGINEERING (NATIONAL):
MASTEC NETWORK SOLUTIONS
1151 SE CARY PARKWAY, STE. 101
CARY, NC 27518
CONTACT: RAPHAEL MOHAMED
PH: (919) 674-5895
EMAIL: RAPHAEL.MOHAMED@MASTEC.COM

SITE ACQUISITION (NATIONAL):
MASTEC NETWORK SOLUTIONS
2189 PARKWAY LAKE DR.
HOOVER, AL 35244
CONTACT: CLEON MITCHELL
EMAIL: CLEON.MITCHELL@MASTEC.COM

SCOPING ENGINEER (NATIONAL):
MASTEC NETWORK SOLUTIONS
2189 PARKWAY LAKE DR.
HOOVER, AL 35244
CONTACT: DAVID ROGERS
EMAIL: DAVID.ROGERS@MASTEC.COM



PROJECT DESCRIPTION

AT&T MOBILITY PROPOSES TO MODIFY AN EXISTING UNMANNED WIRELESS COMMUNICATIONS FACILITY. THIS MODIFICATION WILL CONSIST OF THE FOLLOWING:

TOWER SCOPE OF WORK

- NO TOWER WORK

GROUND SCOPE OF WORK

- REMOVE (E) ATS/CAM LOC
- INSTALL (1) 30KW KOHLER STANDBY GAS GENERATOR (KOHLER 30CCL) ON A CONCRETE PAD
- INSTALL (1) 200A ATS/CAM LOC (#RDT)
- INSTALL ATS ALARM RELAY
- INSTALL UTILITY H-FRAME
- INSTALL 14'-0" WIDE ACCESS GATE
- INSTALL 8'X16' FENCED COMPOUND EXPANSION
- NEW AREA WILL NEED TO BE CLEARED AND GRAVEL ADDED TO BRING UP TO GRADE

DRAWING INDEX

SHEET NO:	SHEET TITLE
T-1	TITLE SHEET
GN-1	GENERAL NOTES
A-0	EQUIPMENT LAYOUT
A-1	PRECAST GENERATOR PAD DETAILS
A-1.1	GENERATOR PAD DETAILS
A-1.2	FENCE DETAILS
E-1	ELECTRICAL PLAN
E-2	EQUIPMENT & CONDUIT DETAILS
E-3	LOAD CALCULATIONS & ONE LINE DIAGRAM
E-4	ALARM DETAILS
G-1	GROUNDING DETAILS

APPROVALS

THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS & AUTHORIZE THE SUBCONTRACTOR TO PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT & MAY IMPOSE CHANGES OR MODIFICATIONS.

SITE ACQUISITION DATE: _____

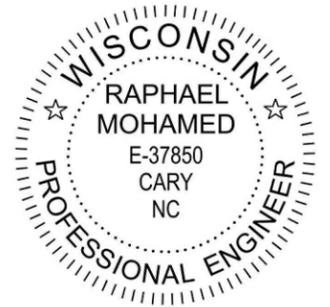
CONSTRUCTION MANAGER DATE: _____

SCALE

THE DRAWING SCALES SHOWN IN THIS SET REPRESENT THE CORRECT SCALE ONLY WHEN THESE DRAWINGS ARE PRINTED IN A 11"X17" OR 24"X36" FORMAT.



CALL WISCONSIN ONE CALL
(800) 242-8511
CALL 3 WORKING DAYS
BEFORE YOU DIG!



2/10/2023

SUBMITTALS

DATE	DESCRIPTION	REV	ISSUED BY
2/10/2023	CONSTRUCTION	0	RM

DRAWN BY: AR

CHECKED BY: BMF

APPROVED BY: RM

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PREPARED FOR:



PREPARED BY:



FA NUMBER:

10080330

SITE NAME:

WI1207

SITE ADDRESS:

**W240 N6585 MAPLE AVENUE
SUSSEX, WI 53089**

TOWER OWNER ID:

N/A

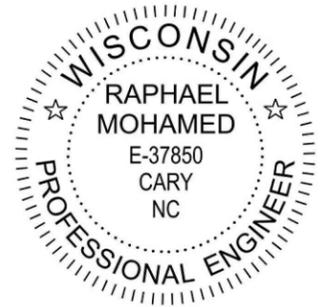
SHEET TITLE

TITLE SHEET

SHEET NUMBER

T-1

NOTE
 THESE DRAWINGS WERE PRODUCED WITHOUT THE BENEFIT OF
 A CURRENT LAND SURVEY. ALL PROPERTY LINES, EASEMENTS,
 SETBACKS, AND EXISTING CONDITIONS ARE APPROXIMATE AND
 SHALL BE VERIFIED PRIOR TO START OF CONSTRUCTION.



2/10/2023

SUBMITTALS			
DATE	DESCRIPTION	REV	ISSUED BY
2/10/2023	CONSTRUCTION	0	RM

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FA NUMBER:
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SITE NAME:
W11207

SITE ADDRESS:
 W240 N6585 MAPLE AVENUE
 SUSSEX, WI 53089

TOWER OWNER ID:
N/A

SHEET TITLE
EQUIPMENT LAYOUT

SHEET NUMBER
A-0

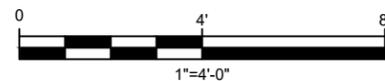
(N) AT&T KOHLER 30CCL NATURAL GAS GENERATOR W/
 3'-0" NEC CLEARANCE ON (N) 5'-0"X10'-0" CONCRETE PAD
 (SEE SHEET E-1 FOR ENLARGED SITE PLAN)

(N) AT&T GENERATOR
 DOORS SHOULD HAVE
 LOCKS ADDED FOR GC

(N) AT&T ATS/CAM LOC
 (MODEL #RDT) W/ 3'-0" NEC
 CLEARANCE MOUNTED ON
 UTILITY H-FRAME
 (SEE SHEET E-1 FOR
 ENLARGED SITE PLAN)

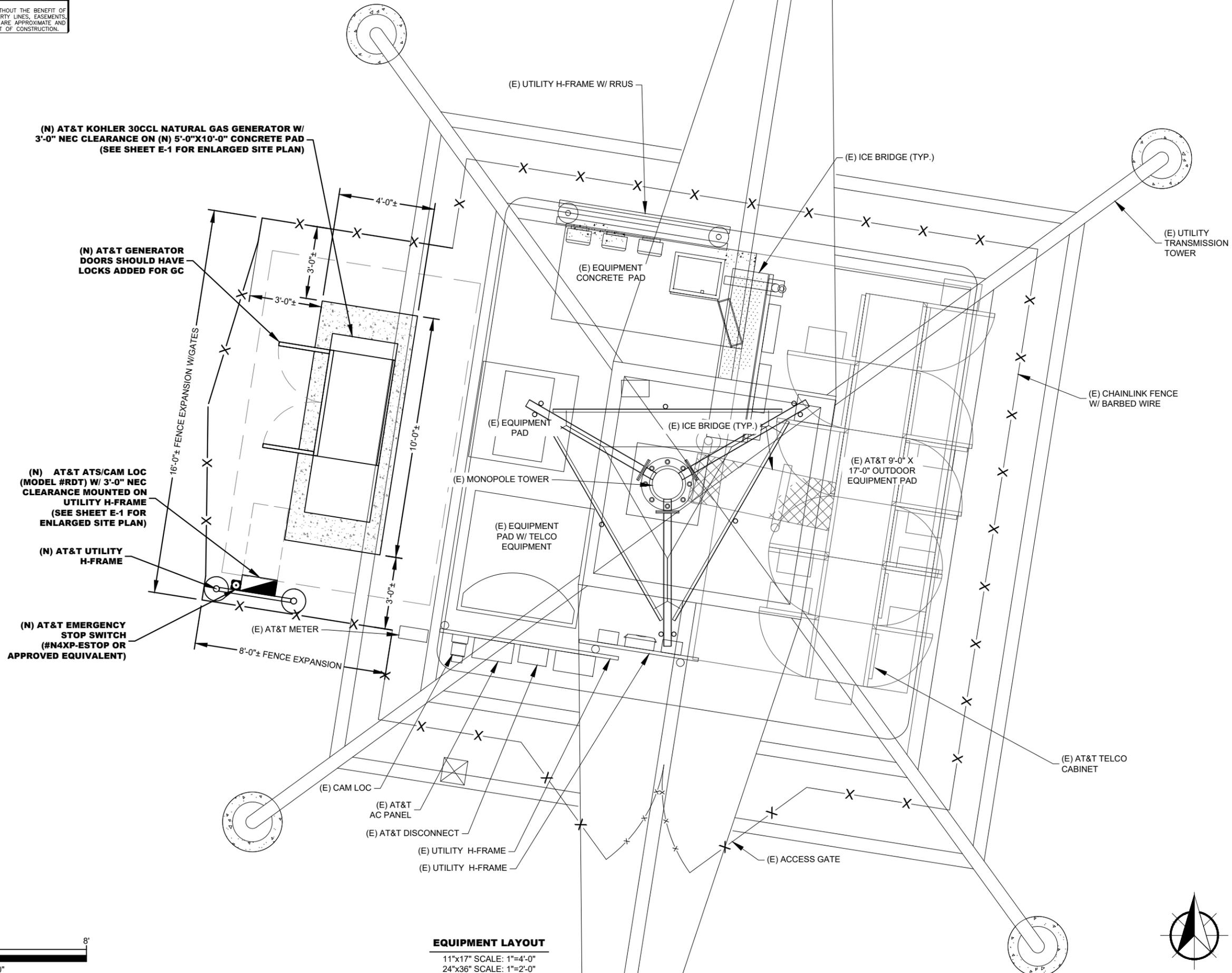
(N) AT&T UTILITY
 H-FRAME

(N) AT&T EMERGENCY
 STOP SWITCH
 (#N4XP-ESTOP OR
 APPROVED EQUIVALENT)



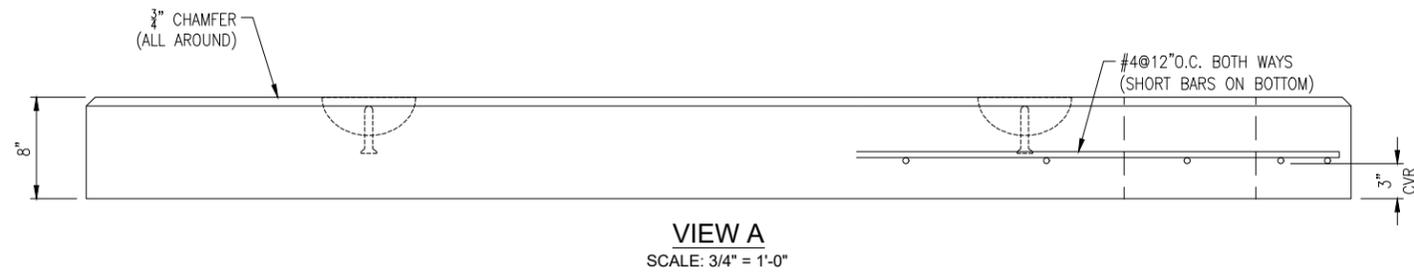
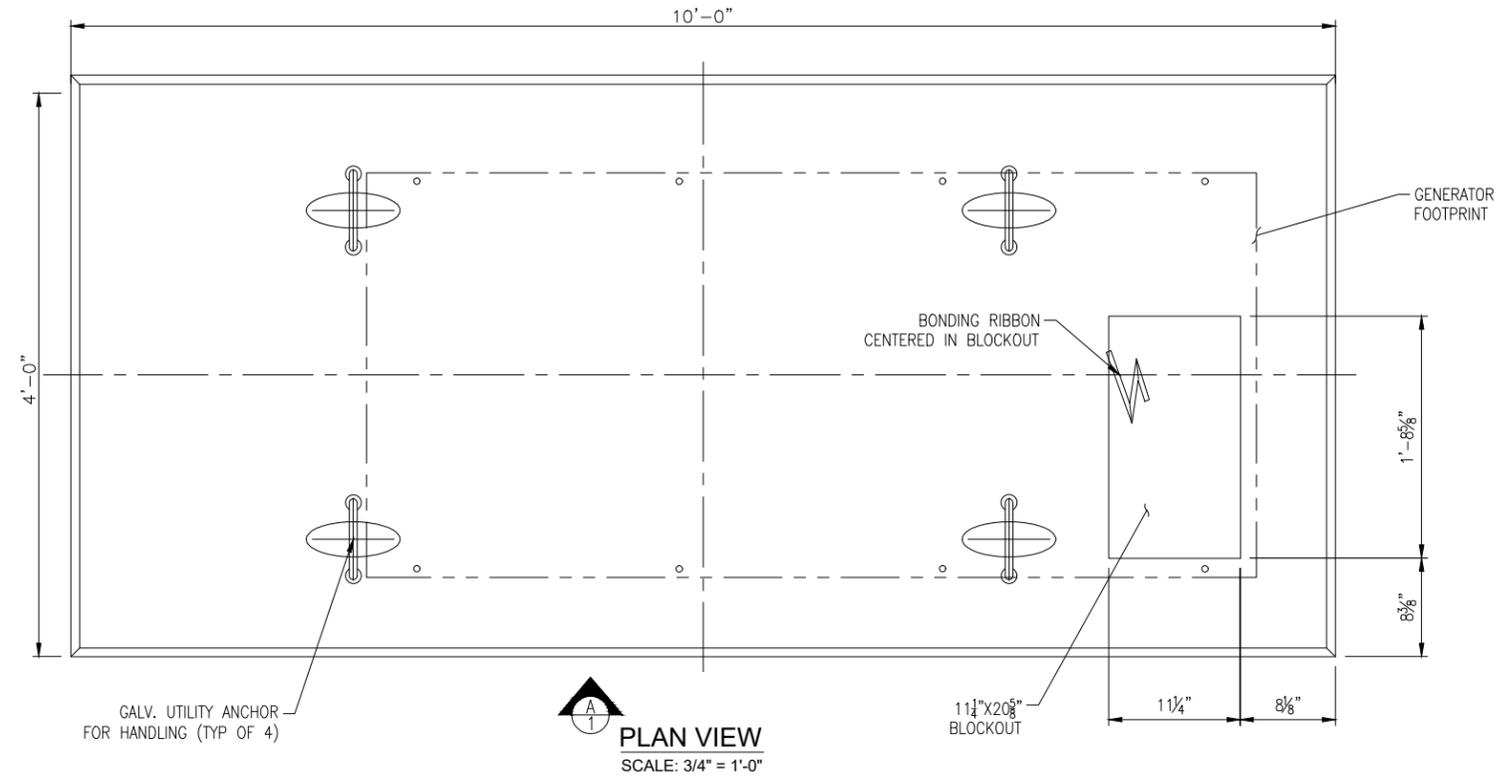
EQUIPMENT LAYOUT

11"x17" SCALE: 1"=4'-0"
 24"x36" SCALE: 1"=2'-0"

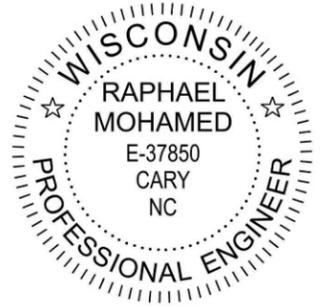


GENERAL NOTES

1. CONCRETE: 28 DAY COMPRESSIVE STRENGTH $F'_c = 5,000$ PSI (MIN).
2. REINFORCING: ASTM A-615, GRADE 60.
3. SLAB DESIGNED BY OTHERS PER CONTRACT DRAWING #C-2.
4. SLAB SHALL BE SUPPORTED IN ACCORDANCE WITH PROJECT SPECIFICATIONS (I.E. LEVEL AND COMPACTED BEARING SURFACE).
5. ELECTRICAL STUB-UP COORDINATE SIZE & PLACEMENT W/ MANUFACTURER DRAWINGS.



WEIGHT		
SECTION	WEIGHT (lbs.)	CONCRETE (CY)
8" THK PAD	3,000	0.74



2/10/2023

SUBMITTALS			
DATE	DESCRIPTION	REV	ISSUED BY
2/10/2023	CONSTRUCTION	0	RM

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 CHECKED BY: BMF
 APPROVED BY: RM

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PREPARED FOR:



PREPARED BY:



FA NUMBER:
10080330

SITE NAME:
WI1207

SITE ADDRESS:
W240 N6585 MAPLE AVENUE
SUSSEX, WI 53089

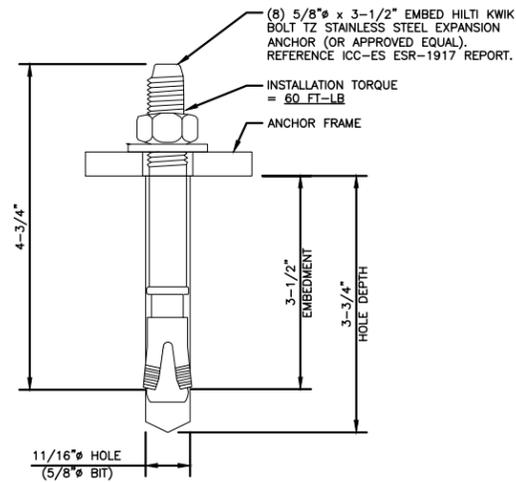
TOWER OWNER ID:
N/A

SHEET TITLE
PRECAST GENERATOR PAD DETAILS

SHEET NUMBER
A-1

GENERAL NOTES

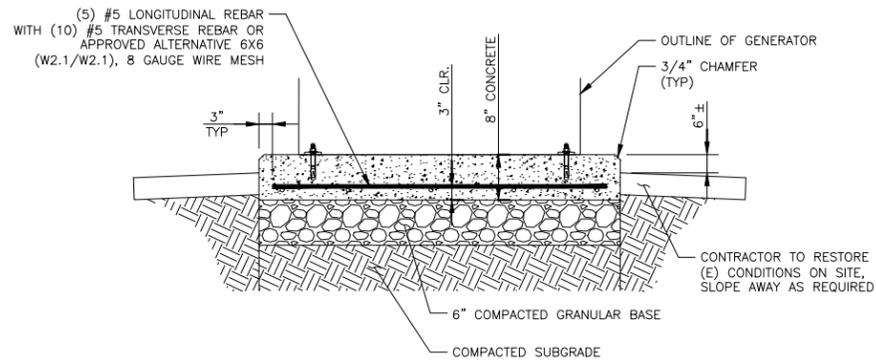
1. CONCRETE SHALL REACH A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI IN 28 DAYS FOR FOUNDATIONS, SLABS, AND CONDUIT ENCASEMENTS. CONCRETE SHALL HAVE A 4" NOMINAL SLUMP AND 4.5-6.5% AIR CONTENT. COMPRESSIVE STRENGTH TEST TO BE PERFORMED ON CONCRETE USED FOR FOUNDATION ONLY.
2. ALL REINFORCING STEEL SHALL BE ASTM A-615, GRADE 60 DEFORMED BARS.
3. ALL DETAILING, FABRICATION AND PLACING OF REINFORCING STEEL SHALL CONFORM TO THE MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES (ACI 318).
4. ALL BAR SPLICES SHALL BE CLASS "B" TENSION SPLICES.
5. CHAMFER ALL EXPOSED EXTERNAL CORNERS OF CONCRETE WITH A 3/4" X 45° CHAMFER.
6. FINISHED SLAB TO BE LEVEL ±1/4".
7. FLEXIBLE UTILITY CONNECTIONS SHOULD BE USED AT UNDERGROUND TO GENERATOR INTERACTIONS.
8. EQUIPMENT PAD DESIGN BASED ON AN ASSUMED ALLOWABLE SOIL BEARING CAPACITY OF 2000 PSF. EQUIPMENT FOUNDATIONS BEARING ON CLAY SOILS SHALL HAVE A MAXIMUM SOIL PLASTICITY INDEX OF 27.
9. INSTALL EQUIPMENT ANCHORAGE PER MANUFACTURER'S WRITTEN RECOMMENDATIONS.
10. THE ATTACHMENT OF THE GENERATOR TO THE FOUNDATION SLAB AND THE FOUNDATION ITSELF ARE DESIGNED TO RESIST A 3 SEC. GUST WIND SPEED OF 143 MPH (ULTIMATE WIND SPEED).
11. ELECTRICAL STUB-UP AREA WILL BE DETERMINED BY GENERATOR ORIENTATION.



TYPICAL ANCHOR DETAIL

SCALE: 3
NONE

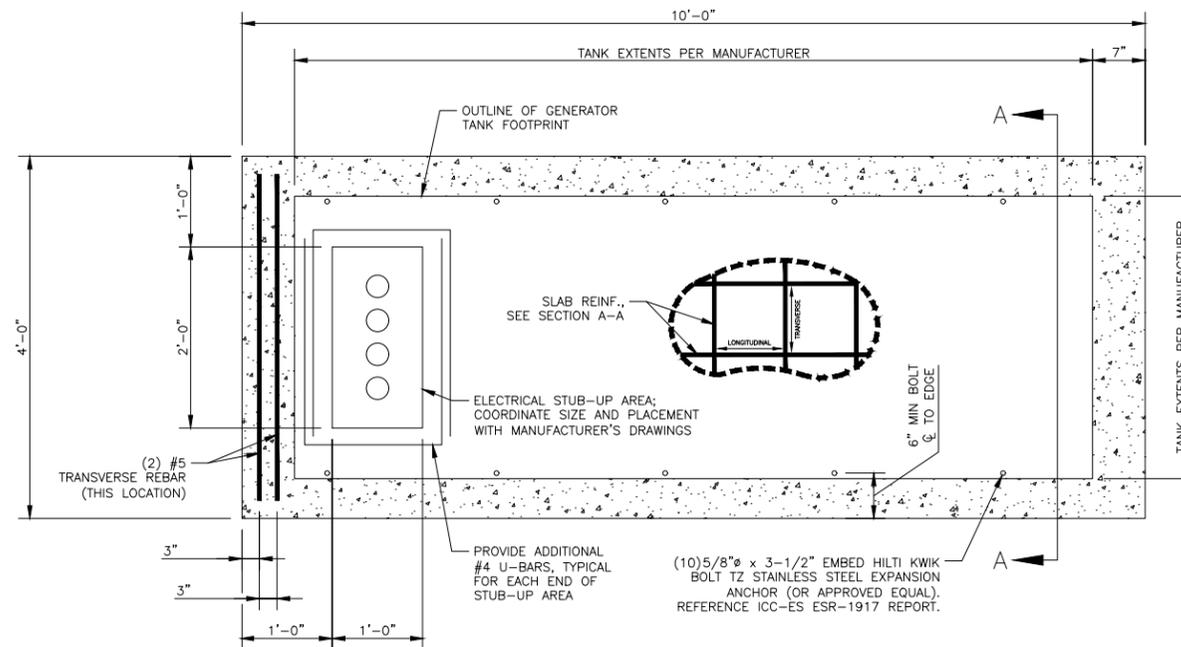
INSTALLER NOTE:
BASE FLOOD ELEVATION (BFE) NOT PROVIDED. CONTRACTOR TO ENSURE TOC OF GENERATOR PAD MATCHES OR EXCEEDS TOC OF EXISTING AT&T EQUIPMENT PAD/FOUNDATION.



GENERATOR PAD DETAIL - SECTION A-A

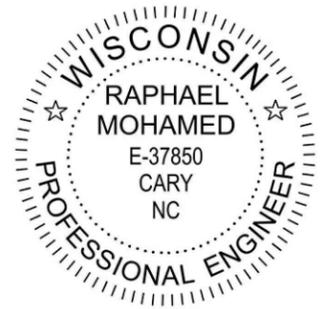
SCALE: 2
NONE

INSTALLER NOTE:
CONDUIT STUB-UP LOCATIONS SHALL BE COORDINATED ON SITE WITH CONSTRUCTION MANAGER, PRIOR TO INSTALLING CONCRETE PAD



CAST-IN-PLACE GENERATOR PAD DETAIL

SCALE: 1
NONE



2/10/2023

SUBMITTALS

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2/10/2023	CONSTRUCTION	0	RM

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APPROVED BY: RM

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PREPARED FOR:



PREPARED BY:



FA NUMBER:
10080330

SITE NAME:
W11207

SITE ADDRESS:
W240 N6585 MAPLE AVENUE
SUSSEX, WI 53089

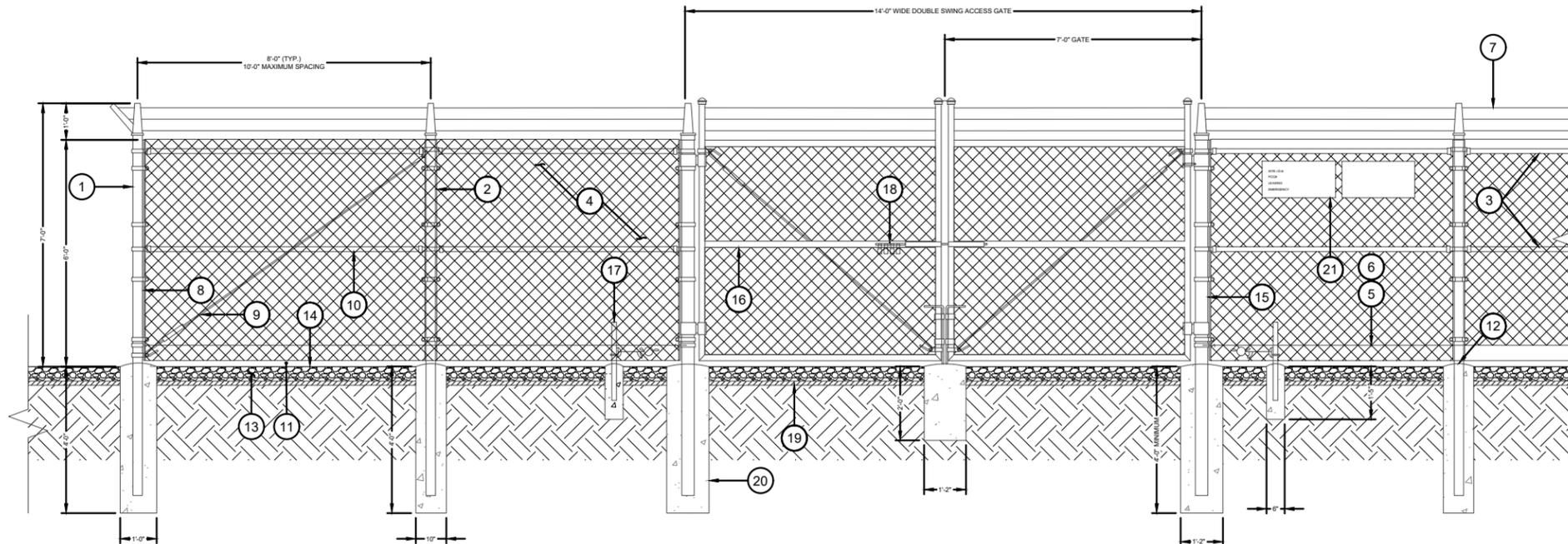
TOWER OWNER ID:
N/A

SHEET TITLE
GENERATOR PAD
DETAILS

SHEET NUMBER
A-1.1

CALLOUTS:

- 1 3" O.D. GALVANIZED STEEL SCHEDULE 40 CORNER POSTS (PER ASTM-F1083).
- 2 2-1/2" NOMINAL GALVANIZED STEEL, SCHEDULE 40 INTERMEDIARY LINE POSTS (PER ASTM-F1083). LINE POSTS SHALL BE EQUALLY SPACED AT MAXIMUM 10' O.C.
- 3 1-5/8" O.D. ROUND TOP RAIL & BRACE PIPE RAIL (PER ASTM-F1083).
- 4 9 GAUGE FABRIC CORE WIRE WITH 2" MESH (TO CONFORM TO ASTM-A392).
- 5 9 GAUGE ALUMINUM TIE WIRE. PROVIDE HOG RING FABRIC TIES SPACED 12" O.C. FOR POSTS AND GATES AND 24" O.C. FOR RAILS AND WIRE.
- 6 9 GAUGE ALUMINUM TENSION WIRE.
- 7 3 STRANDS 14 GAUGE BARBED WIRE WITH 4 POINT BARBS. SPACE BARBS APPROXIMATELY 5" O.C.
- 8 3/16"x3/4" STRETCHER BAR; TO EXTEND FULL HEIGHT OF FENCE.
- 9 3/8" DIAGONAL ROD WITH GALVANIZED STEEL TURNBUCKLE OR DIAGONAL THREADED ROD.
- 10 1-5/8" DIAMETER CORNER POST BRACE.
- 11 MAINTAIN A 1" MAXIMUM CLEARANCE FROM FINISHED GRADE.
- 12 PROVIDE CROWNED/PITCHED FINISH FOR FENCE POST PIER FOUNDATIONS; TO EXTEND 1" ABOVE GRADE.
- 13 6" CRUSHED STONE (TYP.).
- 14 FINISHED GRADE SHALL BE UNIFORM AND LEVEL.
- 15 4" O.D. GALVANIZED STEEL SCHEDULE 40 GATE POSTS (PER ASTM-F1083).
- 16 1-1/2" NOMINAL PIPE FOR GATE FRAME BRACE RAIL (PER ASTM F-1083).
- 17 DUCK BILL OPEN GATE HOLDER. CONTRACTOR TO VERIFY EXACT LOCATION PRIOR TO INSTALLATION.
- 18 NOT USED
- 19 PROPOSED GEOTEXTILE FABRIC.
- 20 CONCRETE PIER FOUNDATION; TO ACHIEVE A MINIMUM STRENGTH OF 3000 PSI AT 28 DAYS. CONCRETE DEPTH TO BE A MINIMUM OF 6" BELOW FROST LINE (48" MINIMUM, TYP.).
- 21 12"x24" SITE INFORMATION SIGN.

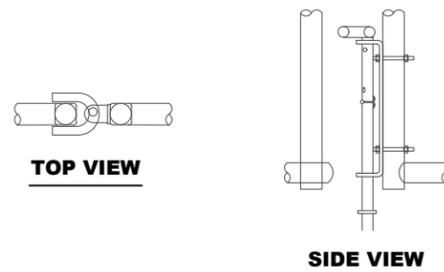


FENCING DETAIL

SCALE: N.T.S.

NOTES:

1. ALL FENCING TO BE INSTALLED PER ASTM F-567. ALL SWING GATES TO BE INSTALLED PER ASTM F-900.
2. BARBED WIRE PERMIT REQUIRED SHALL BE COMPLETED IF LOCAL ORDINANCE REQUIRES.
3. POST & GATE PIPE SIZES ARE INDUSTRY STANDARDS. ALL PIPE TO BE GALVANIZED (HOT DIP, ASTM A120 GRADE "A" STEEL). ALL GATE FRAMES SHALL BE WELDED. ALL WELDINGS SHALL BE COATED WITH (3) COATS OF GOLD GALV. (OR EQUAL). ALL OPEN POSTS SHALL HAVE END-CAPS.
4. ALL SIGNS MUST BE MOUNTED ON INSIDE OF FENCE FABRIC USING GALVANIZED HOG-RING WIRE.
5. MUSHROOM ANCHOR AND PLUNGER REQUIRED FOR GATE. GENERAL CONTRACTOR RESPONSIBLE FOR GATE LOCK.



TOP VIEW

SIDE VIEW

DROP ROD ASSEMBLY DETAIL

SCALE: N.T.S.



TOP VIEW

SIDE VIEW

LATCH ASSEMBLY DETAIL

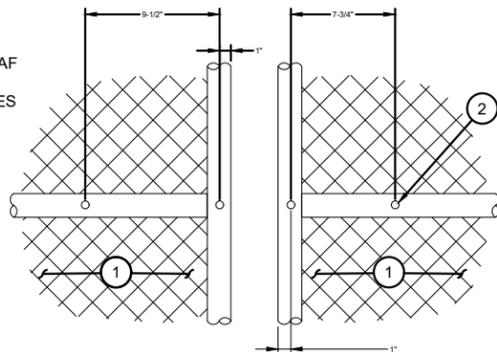
SCALE: N.T.S.

CONTRACTOR NOTES:

1. ONLY INSTALL WHAT IS REQUIRED FOR THIS SPECIFIC SITE AND THE REST IS FOR INFORMATIONAL PURPOSES.
2. MATCH THE EXISTING HEIGHT, MATERIALS, AND COLOR AS NEEDED.

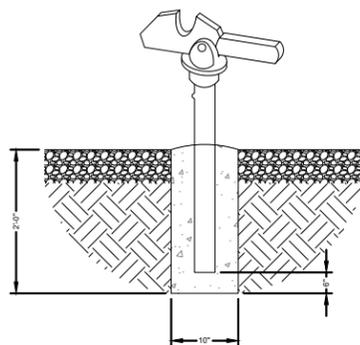
CALLOUTS:

- 1 GATE LEAF
- 2 3/8" HOLES (TYP.)



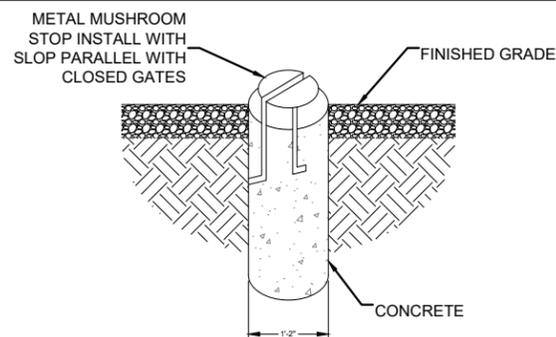
GATE FACE - ACCOMODATING MULTI-TENTANT LOCK

SCALE: N.T.S.



GATE KEEPER DETAIL

SCALE: N.T.S.



MUSHROOM STOP DETAIL

SCALE: N.T.S.



2/10/2023

SUBMITTALS

DATE	DESCRIPTION	REV	ISSUED BY
2/10/2023	CONSTRUCTION	0	RM

DRAWN BY: AR

CHECKED BY: BMF

APPROVED BY: RM

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PREPARED FOR:



PREPARED BY:



FA NUMBER:

10080330

SITE NAME:

W1207

SITE ADDRESS:

**W240 N6585 MAPLE AVENUE
SUSSEX, WI 53089**

TOWER OWNER ID:

N/A

SHEET TITLE

FENCE DETAILS

SHEET NUMBER

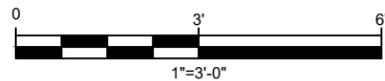
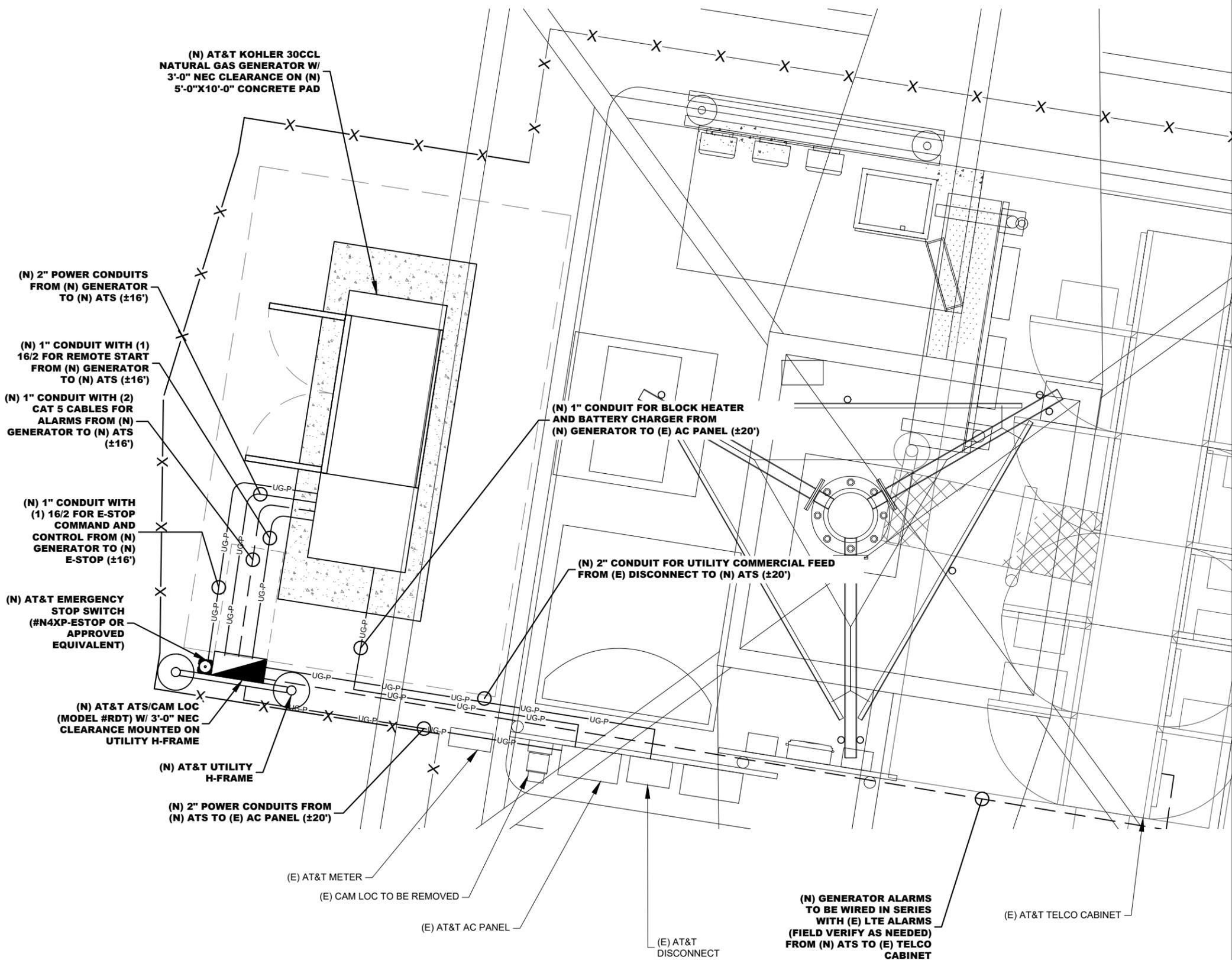
A-1.2

NOTES AND SPECIFICATIONS

1. ALL ELECTRICAL WORK SHALL COMPLY WITH NEC, STATE, AND LOCAL CODES.
2. CONTRACTOR SHALL OBTAIN OWNER/TENANT SPECIFICATIONS AND REVIEW FOR ADDITIONAL DETAILS AND REQUIREMENTS THAT MAY NOT BE SHOWN IN THESE DRAWINGS. CONTRACTOR SHALL COMPLY WITH ANY ADDITIONAL OWNER/TENANT SPECIFICATIONS AND REQUIREMENTS.
3. CONTRACTOR SHALL COORDINATE WITH THE ELECTRIC UTILITY FOR THE EXACT TRANSFORMER LOCATION, METERING REQUIREMENTS, AND SERVICE ROUTING. CONTRACTOR SHALL COORDINATE WITH THE TELEPHONE UTILITY FOR THE EXACT TELEPHONE REQUIREMENTS AND SERVICE ROUTING.
4. PRIOR TO PURCHASING EQUIPMENT, THE CONTRACTOR SHALL CONTACT THE ELECTRIC COMPANY AND OBTAIN IN WRITING THE MAXIMUM AVAILABLE FAULT CURRENT AT THE UTILITY SERVICE POINT. THE CONTRACTOR SHALL ENSURE ALL ELECTRICAL EQUIPMENT, CIRCUIT BREAKERS, DISCONNECTS, FUSES, AND PANELBOARDS HAVE A FAULT CURRENT INTERRUPTING RATING GREATER THAN THE AVAILABLE FAULT CURRENT. IN NO CASE SHALL THE FAULT CURRENT INTERRUPTING RATING BE LESS THAN 10,000 AMPS.
5. CONTRACTOR TO PROVIDE 2-200 LB TEST POLYETHYLENE PULL CORDS SECURELY FASTENED AT EACH END OF POWER AND TELCO CONDUIT. PROVIDE CAPS ON END OF UNUSED CONDUIT.
6. CONTRACTOR TO PROVIDE A REBAR MARKER WITH AT LEAST 2 FEET EXPOSED ABOVE GRADE AND PAINTED BRIGHT ORANGE TO INDICATE LOCATION OF CONDUIT CAPPED BELOW GRADE.
7. PRIOR TO TRENCHING CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES. CONTRACTOR SHALL REPAIR AT CONTRACTOR'S EXPENSE ANY DAMAGE TO EXISTING UTILITIES.
8. CONTRACTOR TO VERIFY EXACT ROUTING OF POWER AND TELCO CONDUIT WITH LOCAL UTILITIES AND OWNER/TENANT. ENSURE ALL CONDUIT STUB-UPS ACCOMMODATE EQUIPMENT REQUIREMENTS.
9. UNDERGROUND CONDUITS SHALL BE SCHEDULE 40 PVC UNLESS NOTED OTHERWISE. USE SCHEDULE 80 PVC UNDER ROADS.
10. CONDUIT RUNS SHALL HAVE A CONTINUOUS SLOPE DOWNWARDS AND AWAY FROM THE EQUIPMENT TO ALLOW WATER TO FLOW AWAY FROM THE EQUIPMENT AND SHELTER. EXCAVATE TRENCHES ALONG STRAIGHT LINES PRIOR TO INSTALLING CONDUIT TO ACCOMMODATE ADJUSTING THE ELEVATION, AS NEEDED.
11. CONDUIT ENTERING EQUIPMENT SHALL BE SEALED WITH A SEALANT THAT IS IDENTIFIED FOR USE WITH THE CABLE/CONDUCTOR INSULATION, SHIELDING, ETC.
12. THE OWNER SHALL FURNISH AND THE CONTRACTOR SHALL INSTALL ADDITIONAL SIGNAGE TO BE LOCATED AT THE COMPOUND FENCE. CONTRACTOR SHALL COORDINATE WITH OWNER/TENANT CONSTRUCTION MANAGER FOR PLACEMENT OF SIGNAGE.
13. UPON COMPLETION OF CONSTRUCTION, CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES TO THE LANDSCAPING AREA.
14. CONTRACTOR TO ENSURE A MIN. 3' CLEARANCE IN FRONT OF ELECTRICAL PANELS PER NEC.
15. ALL ELECTRICAL MATERIALS, DEVICES, APPLIANCES AND EQUIPMENT SHALL BE LABEL TESTED BY AN APPROVED THIRD PARTY TESTING AGENCY.

CONDUCTOR COLOR CODE		
SYSTEM	CONDUCTOR	COLOR
120/240V, 1 ϕ	A PHASE	BLACK
	B PHASE	RED
	NEUTRAL	WHITE
	GROUND	GREEN
120/208V, 3 ϕ	A PHASE	BLACK
	B PHASE	RED
	C PHASE	BLUE
	NEUTRAL	WHITE
	GROUND	GREEN
	A PHASE	BROWN
	B PHASE	ORANGE OR PURPLE
	C PHASE	YELLOW
277/480V, 3 ϕ	NEUTRAL	GREY
	GROUND	GREEN
	DC VOLTAGE	POS (+)
	NEG (-)	BLACK**

* SEE NEC 210.5(C)(1) AND (2)
 ** POLARITY MARKED AT TERMINATION



ELECTRICAL PLAN
 11"x17" SCALE: 1"=3'-0"
 24"x36" SCALE: 1"=1'-6"



2/10/2023

SUBMITTALS			
DATE	DESCRIPTION	REV	ISSUED BY
2/10/2023	CONSTRUCTION	0	RM

DRAWN BY: AR
 CHECKED BY: BMF
 APPROVED BY: RM

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FA NUMBER:
10080330

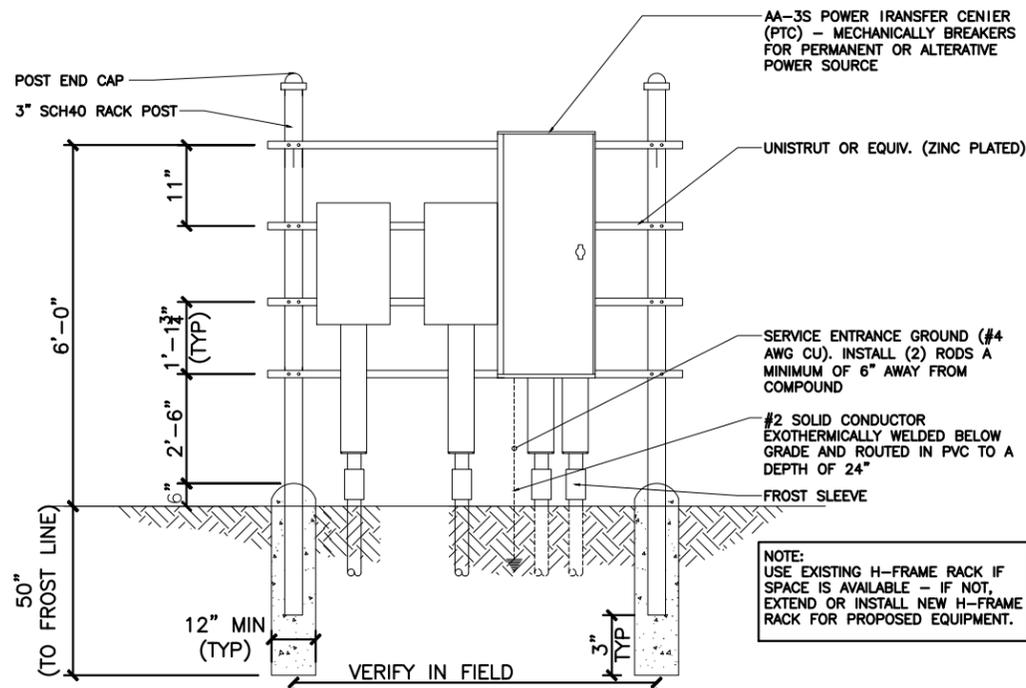
SITE NAME:
W1207

SITE ADDRESS:
 W240 N6585 MAPLE AVENUE
 SUSSEX, WI 53089

TOWER OWNER ID:
N/A

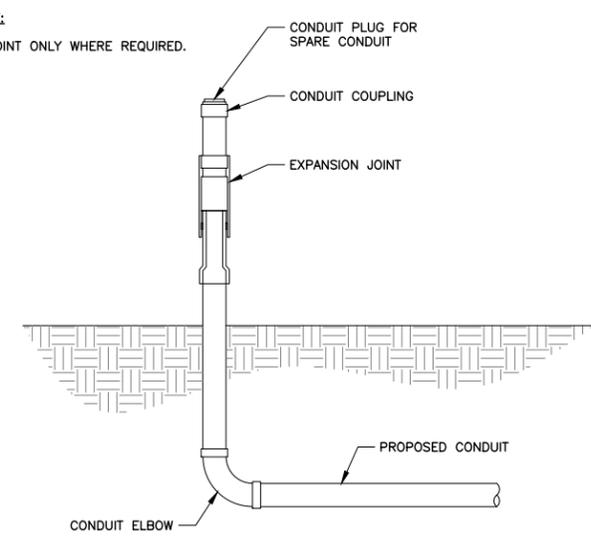
SHEET TITLE
ELECTRICAL PLAN

SHEET NUMBER
E-1



NOTE:
USE EXISTING H-FRAME RACK IF SPACE IS AVAILABLE - IF NOT, EXTEND OR INSTALL NEW H-FRAME RACK FOR PROPOSED EQUIPMENT.

INSTALLER NOTE:
INSTALL SLIP JOINT ONLY WHERE REQUIRED.



SLIP JOINT DETAIL

SCALE: NONE 3

H-FRAME DETAIL

SCALE: NONE 5

U.L. SYSTEM NO. C-AJ-1150
CONDUIT THROUGH BEARING WALL SIMILAR TO U.L. DESIGN NO. U902
F RATING = 3 HR
T RATING = 0 HR

A. FLOOR OR WALL ASSEMBLY : MINIMUM 4-1/2" THICK REINFORCED LIGHTWEIGHT OR NORMAL WEIGHT (100-150 PCF) CONCRETE. WALL MAY ALSO BE CONSTRUCTED OF ANY UL CLASSIFIED CONCRETE BLOCKS*. MAX DIAMETER OF OPENING IS 4". (SEE CONCRETE BLOCKS CAT2) CATEGORY IN THE FIRE RESISTANCE DIRECTORY FOR NAMES OF MANUFACTURERS.

B. THROUGH PENETRATIONS : ONE METALLIC PIPE OR CONDUIT TO BE RIGIDLY SUPPORTED ON BOTH SIDES OF FLOOR OR WALL ASSEMBLY. THE ANNULAR SPACE SHALL BE MINIMUM 0". (POINT CONTACT) TO MAXIMUM 1-3/8". THE FOLLOWING TYPES AND SIZES OF METALLIC PIPES OR CONDUITS MAY BE USED:
a. STEEL PIPE-NOMINAL 6" DIAMETER (OR SMALLER) SCHEDULE 40 (OR HEAVIER) STEEL PIPE
b. IRON PIPE-NOMINAL 6" DIAMETER (OR SMALLER) CAST OR DUCTILE IRON PIPE.
c. CONDUIT - NOMINAL 4" DIAMETER (OR SMALLER) STEEL ELECTRICAL METALLIC TUBING OR NOMINAL 3-1/2" DIAMETER (OR SMALLER) STEEL CONDUIT.

C. PACKING MATERIAL: MINIMUM 6" THICKNESS OF MIN 4.0 PCF MINERAL WOOL BATTING INSULATION FIRMLY PACKED INTO OPENING AS A PERMANENT FORM. PACKING MATERIAL TO BE RECESSED FROM TOP SURFACE OF FLOOR OR FROM BOTH SURFACES OF WALL AS REQUIRED TO ACCOMMODATE THE REQUIRED THICKNESS OF FILL MATERIAL.

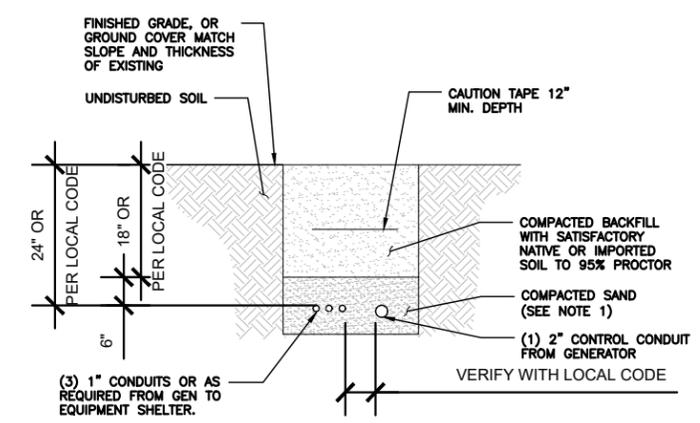
D. FILL VOID, OR CAVITY MATERIAL*: SEALANT: MINIMUM 1/4" THICKNESS OF FILL MATERIAL APPLIED WITHIN THE ANNULUS, FLUSH WITH TOP SURFACE OF FLOOR AND WITH BOTH SURFACES OF WALL. AT THE POINT CONTACT LOCATION BETWEEN PIPE AND CONCRETE, A MINIMUM 1/2" DIAMETER BEAD OF FILL MATERIAL SHALL BE APPLIED AT THE CONCRETE/PIPE INTERFACE ON THE TOP SURFACE OF FLOOR AND ON BOTH SURFACES OF WALL. W-RATING APPLIES ONLY WHEN CP601S OR CP604 SEALANT IS USED.

HILTI CONSTRUCTION CHEMICALS, DIV OF HILTI INC. : CP601S, CP604, CP606, OR FS-ONE SEALANT.

* BEARING THE UL CLASSIFICATION MARK

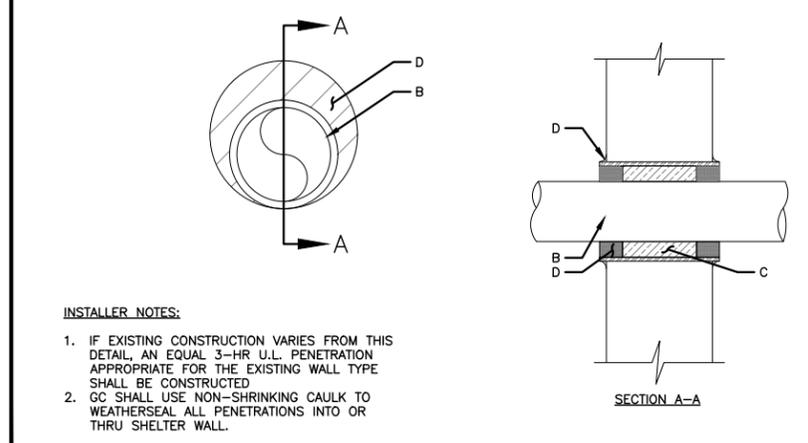
UNISTRUT WALL ATTACHMENT:		
WALL CONSTRUCTION TYPE	FASTENER	ANCHOR SPACING
WOOD STUD	3/8" DIA. LAG SCREW	16"
CONCRETE BLOCK (HOLLOW)	-	8"
CONCRETE BLOCK (SOLID)	3/8" SIMPSON TITEN HD ANCHOR MINIMUM EMBEDMENT 2-3/4"	24"

NOTES:
1. USE GALVANIZED OR STAINLESS STEEL HARDWARE FOR WALL MOUNT AND CONNECTION OF CHANNELS.
2. GC SHALL USE NON-SHRINKING CAULK TO WEATHER SEAL ALL PENETRATIONS INTO OR THROUGH SHELTER WALL.
3. MINIMUM (3) ANCHORS TO BE USED FOR EACH CHANNEL.



TRENCH DETAIL

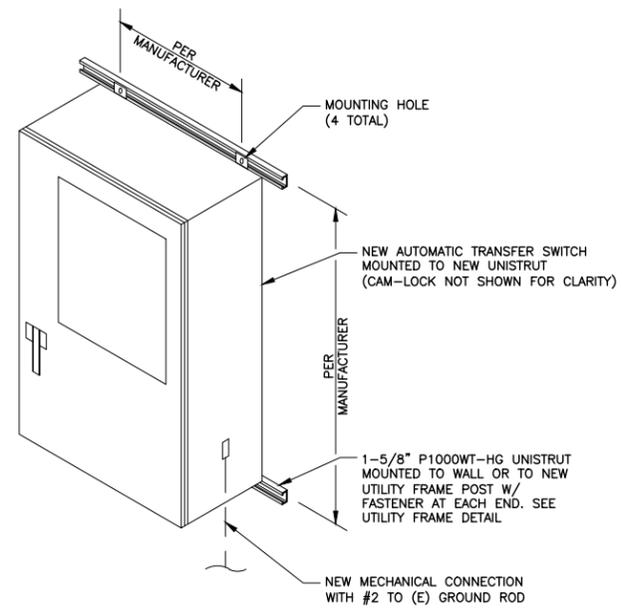
SCALE: NONE 2



INSTALLER NOTES:
1. IF EXISTING CONSTRUCTION VARIES FROM THIS DETAIL, AN EQUAL 3-HR U.L. PENETRATION APPROPRIATE FOR THE EXISTING WALL TYPE SHALL BE CONSTRUCTED
2. GC SHALL USE NON-SHRINKING CAULK TO WEATHERSEAL ALL PENETRATIONS INTO OR THRU SHELTER WALL.

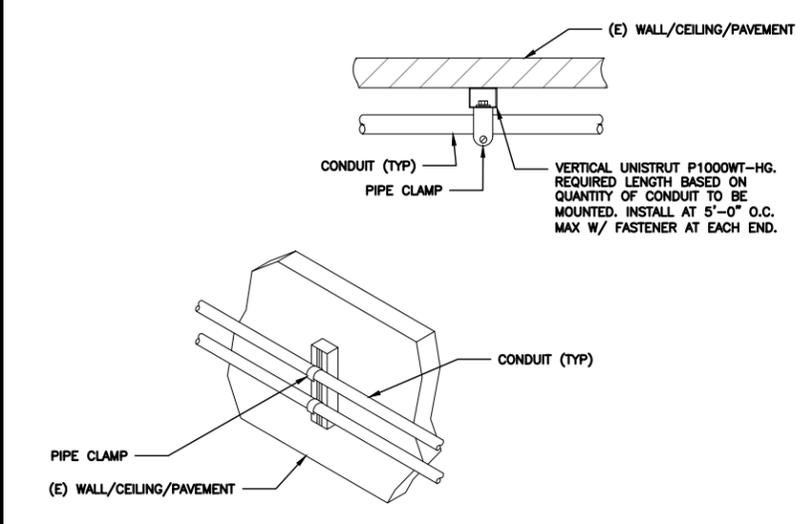
OUTER WALL PENETRATION DETAIL

SCALE: NONE 6



ATS MOUNTING DETAIL

SCALE: NONE 4



CONDUIT WALL MOUNT DETAIL

SCALE: NONE 1



2/10/2023

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PREPARED FOR:

PREPARED BY:

1151 SE CARY PARKWAY, SUITE 101
CARY, NC 27518

FA NUMBER:
10080330

SITE NAME:
W11207

SITE ADDRESS:
W240 N6585 MAPLE AVENUE
SUSSEX, WI 53089

TOWER OWNER ID:
N/A

SHEET TITLE
EQUIPMENT & CONDUIT DETAILS

SHEET NUMBER
E-2

GENERATOR ALARM IDENTIFICATION CHART	
NAME	DESCRIPTION
CF	CRITICAL FAILURE
FL	FUEL LEAK OVERFILL
GR	GENERATOR RUNNING
FL	LOW FUEL
MAF	MAJOR FAULT
MF	MINOR FAULT
FL	GEN FUEL LEAK TANK WHT/SLATE

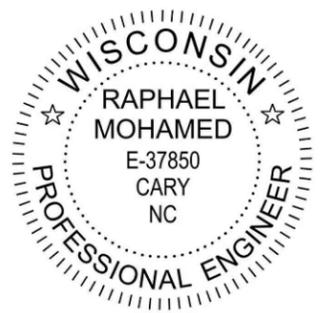
NOTE: CONTRACTOR TO LABEL WIRES W/ P-TOUCH OR SIMILAR LABELS ONLY. ABSOLUTELY NO HANDWRITTEN LABELS.

ALARM REQUIREMENTS
 AT&T REQUIRES FOUR ALARMS CONFIRMED WORKING: NORMALLY CLOSED VOLT-FREE CONTACT FOR:

1. GENERATOR RUN
2. GENERATOR FAIL
3. LOW FUEL
4. FUEL LEAK
5. RBS GENERATOR MJ

COLOR CODE:
 GENERATOR:
 A. CABLE - (2) CAT6
 B. COLOR CODE
 1. GENERATOR RUN - ALARM PORT #14 (ORANGE & WHITE)
 2. GENERATOR FAIL - ALARM PORT #15 (BLUE & WHITE)
 3. LOW FUEL - ALARM (PORT P32) ON I/O BOARD (GREEN & WHITE)
 4. FUEL LEAK - P32 ON I/O BOARD (BROWN & WHITE)

AUTOMATIC TRANSFER SWITCH
 A. CABLE - cat6e
 B. COLOR CODE
 1. COMMERCIAL POWER FAIL IF REQUIRED (BLUE WHITE)
 2. TRANSFER SWITCH POSITION (BROWN WHITE)
CAM LOCK ALARM
 A. CABLE - cat6e
 B. COLOR CODE
 1. PORTABLE GENERATOR RUNNING (ORANGE WHITE) (IF REQUIRED)



2/10/2023

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PREPARED BY:

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 CARY, NC 27518

FA NUMBER:
10080330

SITE NAME:
W1207

SITE ADDRESS:
 W240 N6585 MAPLE AVENUE
 SUSSEX, WI 53089

TOWER OWNER ID:
N/A

SHEET TITLE
ALARM DETAILS

SHEET NUMBER
E-4

ALARM DETAILS

SCALE: **3**
 NONE

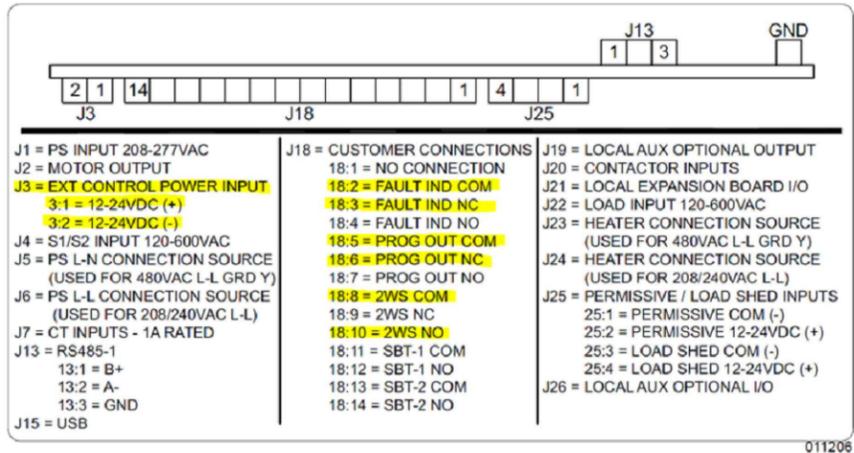
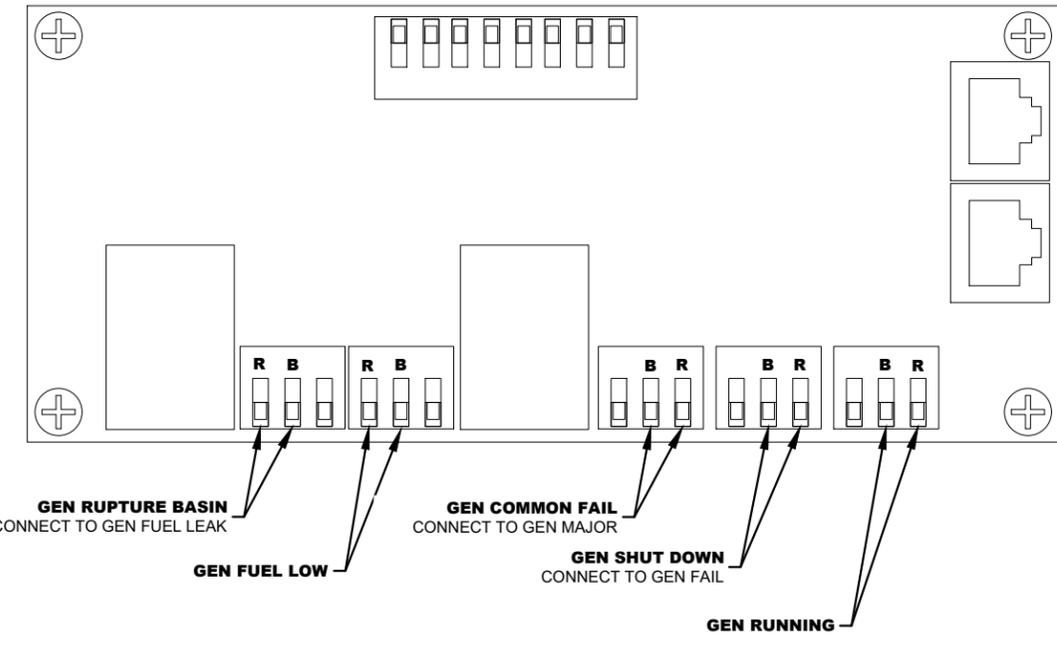
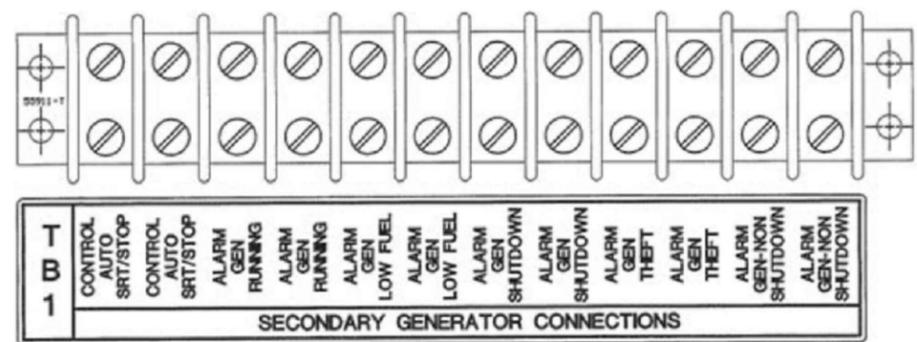
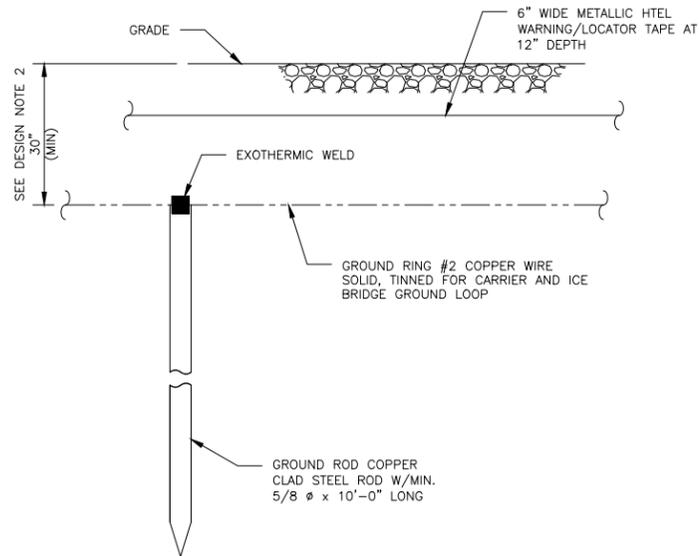


Figure 4-8. Customer Connections Diagram



SCALE: **1**
 NONE

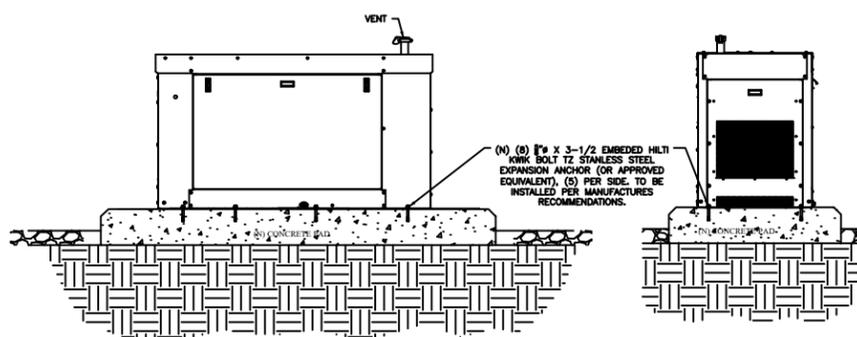
SCALE: **2**
 NONE



- NOTES:
- GROUND ROD SHALL BE DRIVEN VERTICALLY, NOT TO EXCEED 45 DEGREES FROM THE VERTICAL.
 - GROUND WIRE SHALL BE MIN. 30" BELOW GRADE OR 6" BELOW FROST LINE. (WHICH EVER IS GREATER) AS PER N.E.C. ARTICLE 250-50(D)

GROUND ROD DETAIL

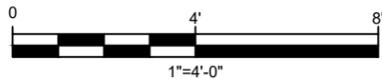
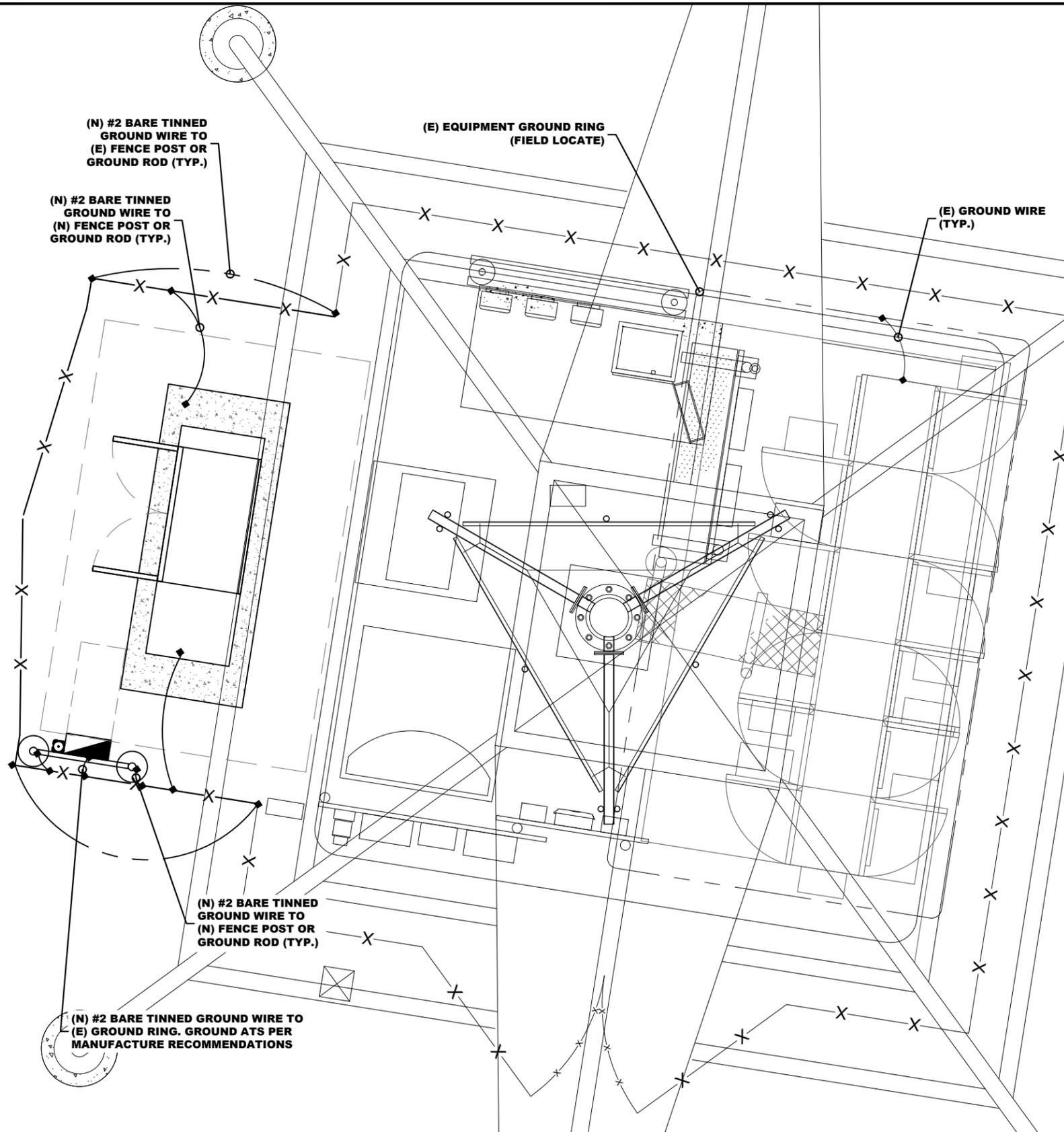
SCALE: NONE 3



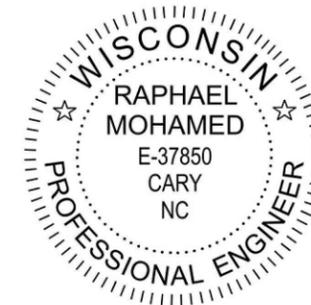
NOTE: GENERATOR SHOWN FOR GRAPHIC REPRESENTATION ONLY EXACT MODEL MAY VARY IN APPEARANCE.

GENERATOR DETAIL

SCALE: NONE 2



GROUNDING PLAN
11"x17" SCALE: 1"=4'-0"
24"x36" SCALE: 1"=2'-0"



2/10/2023

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PREPARED FOR:



PREPARED BY:



FA NUMBER:
10080330

SITE NAME:
W1207

SITE ADDRESS:
W240 N6585 MAPLE AVENUE
SUSSEX, WI 53089

TOWER OWNER ID:
N/A

SHEET TITLE
GROUNDING DETAILS

SHEET NUMBER
G-1



**EPA-Certified for Stationary
Emergency Applications**

Ratings Range

Standby:	kW	60 Hz
	kVA	30-38



The Kohler® Advantage

- **High Quality Power**
Kohler generators provide advanced voltage and frequency regulation along with ultra-low levels of harmonic distortion for excellent generator power quality to protect your valuable electronics.
- **Extraordinary Reliability**
Kohler is known for extraordinary reliability and performance and backs that up with a premium five-year or 2000 hour limited warranty.
- **All-Aluminum Sound Enclosure**
Durable aluminum sound-attenuating enclosure.

Generator Set Ratings

Alternator	Voltage	Ph	Hz	Natural Gas 130°C Rise		LP Gas 130°C Rise	
				Standby Rating kW/kVA	Amps	Standby Rating kW/kVA	Amps
4D8.3	120/208	3	60	30/38	106	30/38	106
	127/220	3	60	30/38	100	30/38	100
	120/240	3	60	30/38	92	30/38	92
	120/240	1	60	30/30	125	30/30	125
	139/240	3	60	30/38	92	30/38	92
	220/380	3	60	30/38	58	30/38	58
	277/480	3	60	30/38	46	30/38	46
	347/600	3	60	30/38	37	30/38	37
4P7BX	120/208	3	60	30/38	106	30/38	106
	127/220	3	60	30/38	100	30/38	100
	120/240	3	60	30/38	92	30/38	92
	120/240	1	60	30/30	125	30/30	125
	139/240	3	60	30/38	92	30/38	92
	220/380	3	60	30/38	58	30/38	58
4E8.3	277/480	3	60	30/38	46	30/38	46
	347/600	3	60	30/38	37	30/38	37
4E8.3	120/240	1	60	30/30	125	30/30	125
4Q7BX	120/240	1	60	30/30	125	30/30	125

RATINGS: All three-phase units are rated at 0.8 power factor. All single-phase units are rated at 1.0 power factor. *Standby Ratings:* The standby rating is applicable to varying loads for the duration of a power outage. There is no overload capability for this rating. Ratings are in accordance with ISO-8528-1 and ISO-3046-1. Obtain technical information bulletin (TIB-101) for ratings guidelines, complete ratings definitions, and site condition derates. The generator set manufacturer reserves the right to change the design or specifications without notice and without any obligation or liability whatsoever.

Standard Features

- Kohler Co. provides one-source responsibility for the generating system and accessories.
- The generator set and its components are prototype-tested, factory-built, and production-tested.
- The generator set accepts rated load in one step.
- A five-year/2000 hour limited warranty covers all generator set systems and components. A five-year extended comprehensive limited warranty is also available.
- **Engine Features**
 - Powerful and reliable 2.2 L turbocharged liquid-cooled engine
 - Electronic engine management system.
 - Simple field conversion between natural gas and LPG fuels while maintaining emission certification.
- **Innovative Cooling System**
 - Electronically controlled fan speeds minimize generator set sound signature.
- **Alternator features:**
 - Kohler's wound field excitation system with its unique PowerBoost™ design delivers great voltage response and short-circuit capability.
 - The unique Fast-Response® X excitation system delivers excellent voltage response and short-circuit capability using a rare-earth, permanent magnet (PM)-excited alternator.
 - The brushless, rotating-field alternator has broadrange reconnectability.
- Kohler designed controller for one-source system integration and remote communication. See Controller on page 3.
- **Certifications**
 - The generator set engine is certified by the Environmental Protection Agency (EPA) to conform to the New Source Performance Standard (NSPS) for stationary spark-ignited emissions.
 - UL 2200/cUL listing is available.
 - The generator set meets NFPA 110, Level 1, when equipped with the necessary accessories and installed per NFPA standards.
 - CSA certification is available.
 - Accepted by the Massachusetts Board of Registration of Plumbers and Gas Fitters.
- Approved for stationary standby applications in locations served by a reliable utility source.

Alternator Specifications

Specifications	Alternator
Manufacturer	Kohler
Exciter type	Brushless, Wound-Field
Leads: quantity, type	
4D	12, Reconnectable
4E	4, 110- 120/220- 240 V
4PX	12, Reconnectable
4QX	4, 110- 120/220- 240 V
Voltage regulator	Solid State, Volts/Hz
Insulation:	NEMA MG1
Material	Class H
Temperature rise	130°C, Standby
Bearing: quantity, type	1, Sealed
Coupling	Flexible Disc
Amortisseur windings	Full
Voltage regulation, no-load to full-load	Controller Dependent
One-step load acceptance	100% of Rating
Unbalanced load capability	100% of Rated Standby Current
Peak motor starting kVA:	(35% dip for voltages below)
480 V 4D8.3 (12 lead)	120
240 V 4E8.3 (4 lead)	74
480 V 4P7BX (12 lead)	180
240 V 4Q7BX (4 lead)	113

- NEMA MG1, IEEE, and ANSI standards compliance for temperature rise and motor starting.
- Sustained short-circuit current enabling downstream circuit breakers to trip without collapsing the alternator field.
- Self-ventilated and dripproof construction.
- Windings are vacuum-impregnated with epoxy varnish for dependability and long life.
- Superior voltage waveform from a two-thirds pitch stator and skewed rotor.

Application Data

Engine

Engine Specifications	
Manufacturer	Kohler
Engine: model, type	KG2204T, 2.2 L, 4-Cycle Turbocharged
Cylinder arrangement	In-line 4
Displacement, L (cu. in.)	2.2 (134.25)
Bore and stroke, mm (in.)	91 x 86 (3.5 x 3.4)
Compression ratio	10.5:1
Piston speed, m/min. (ft./min.)	340 (1016)
Main bearings: quantity, type	5, plain alloy steel
Rated rpm	1800
Max power at rated RPM, kW (HP)	
LPG	47.8 (64.1)
Natural Gas	47.6 (63.9)
Cylinder head material	Cast Iron
Piston type and material	High Silicon Aluminum
Crankshaft material	Nodular Iron
Valve (exhaust) material	Forged Steel
Governor type	Electronic
Frequency regulation, no-load to full-load	Isochronous
Frequency regulation, steady state	±1.0%
Frequency	Fixed
Air cleaner type, all models	Dry

Engine Electrical

Engine Electrical System	
Ignition system	Electronic
Battery charging alternator:	
Ground (negative/positive)	Negative
Volts (DC)	14
Ampere rating	90
Starter motor rated voltage (DC)	12
Battery, recommended cold cranking amps (CCA):	
Qty., rating for - 18°C (0°F)	One, 630
Battery voltage (DC)	12
Battery group size	24

Exhaust

Exhaust System	
Exhaust manifold type	Dry
Exhaust temperature at rated kW, dry exhaust, °C (°F)	610 (1130)
Maximum allowable back pressure, kPa (in. Hg)	7.5 (2.2)

Fuel

Fuel System	
Fuel type	Natural Gas or LPG
Fuel supply line inlet	1 NPTF
Natural gas fuel supply pressure, kPa (in. H ₂ O)	1.2-2.7 (5-11)
LPG vapor withdrawal fuel supply pressure, kPa (in. H ₂ O)	1.2-2.7 (5-11)

Fuel Composition Limits *	Nat. Gas	LP Gas
Methane, % by volume	90 min.	—
Ethane, % by volume	4.0 max.	—
Propane, % by volume	1.0 max.	85 min.
Propene, % by volume	0.1 max.	5.0 max.
C ₄ and higher, % by volume	0.3 max.	2.5 max.
Sulfur, ppm mass	25 max.	
Lower heating value, MJ/m ³ (Btu/ft ³), min.	33.2 (890)	84.2 (2260)

* Fuels with other compositions may be acceptable. If your fuel is outside the listed specifications, contact your local distributor for further analysis and advice.

Application Data

Lubrication

Lubricating System

Type	Full Pressure
Oil pan capacity, L (qt.) ‡	4.2 (4.4)
Oil added during oil change (on average), L (qt.) ‡	3.3 (3.5)
Oil pan capacity with filter, L (qt.) ‡	8.5 (9.0)
Oil filter: quantity, type ‡	1, Cartridge
‡ Kohler recommends the use of Kohler Genuine oil and filters.	

Cooling

Radiator System

Ambient temperature, °C (°F)	50 (122)
Engine jacket water capacity, L (gal.)	2.65 (0.7)
Radiator system capacity, including engine, L (gal.)	13.2 (3.5)
Engine jacket water flow, Lpm (gpm)	62 (16.4)
Heat rejected to cooling water at rated kW, dry exhaust, kW (Btu/min.)	22.5 (1280)
Water pump type	Centrifugal
Fan diameter, including blades, mm (in.)	qty. 3 @ 406 (16)
Fan power requirements (powered by engine battery charging alternator)	12 VDC, 18 amps each

Operation Requirements

Air Requirements

Radiator-cooled cooling air, m ³ /min. (scfm) ‡	51 (1800)
Combustion air, m ³ /min. (cfm)	1.6 (57)
Air over engine m ³ /min. (cfm)	25 (883)
† Air density = 1.20 kg/m ³ (0.075 lbm/ft ³)	

Fuel Consumption ‡

Natural Gas, m ³ /hr. (cfh) at % load	Standby Ratings
100%	11.9 (421)
75%	10.0 (355)
50%	8.2 (289)
25%	6.3 (223)
0%	4.5 (158)

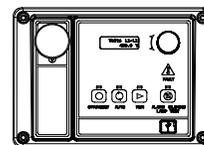
LP Gas, m ³ /hr. (cfh) at % load	Standby Ratings
100%	4.6 (164)
75%	3.7 (131)
50%	2.8 (99)
25%	1.9 (66)
0%	1.0 (34)

‡ Nominal fuel rating: Natural gas, 37 MJ/m³ (1000 Btu/ft.³)
LP vapor, 93 MJ/m³ (2500 Btu/ft.³)

LP vapor conversion factors:

- 8.58 ft.³ = 1 lb.
- 0.535 m³ = 1 kg.
- 36.39 ft.³ = 1 gal.

Controller



APM402 Controller

Provides advanced control, system monitoring, and system diagnostics for optimum performance and compatibility.

- Digital display and menu control provide easy local data access
 - Measurements are selectable in metric or English units
 - Remote communication thru a PC via network or serial configuration
 - Controller supports Modbus® protocol
 - Integrated hybrid voltage regulator with ±0.5% regulation
 - Built-in alternator thermal overload protection
 - NFPA 110 Level 1 capability
- Refer to G6-161 for additional controller features and accessories.

Modbus® is a registered trademark of Schneider Electric.

Sound Enclosure

- Durable aluminum, sound-attenuating enclosure with quiet operation of 57 dB(A) log average @ 7 m (23 ft.) at no load.
- Internally mounted silencer.
- Fade-, scratch, and corrosion-resistant Kohler® Power Armor™ automotive-grade textured finish.
- Acoustic insulation that meets UL 94 HF1 flammability classification and repels moisture absorption.

Standard Features

- Alternator Protection
- Aluminum Sound Enclosure with Enclosed Silencer
- Battery Rack and Cables
- Flexible Fuel Line
- Gas Fuel System (includes fuel mixer, electronic secondary gas regulator, gas solenoid valve, and flexible fuel line between the engine and the skid-mounted fuel system components)
- Integral Vibration Isolation
- Local Emergency Stop Switch
- Low Fuel Pressure Switch (with NFPA fuel module)
- Oil Drain Extension
- Operation and Installation Literature
- Standard 5-Year Limited Warranty

Available Options

Approvals and Listings

- CSA Certified
- UL 2200 Listing

Controller

- 15-Relay Dry Contact Board
- Communication Products
- Input/Output Module (2 inputs, 5 outputs)
- Lockable Emergency Stop (lockout/tagout)
- Manual Key Switch
- Manual Speed Adjust
- Remote Annunciator Panel
- Remote Emergency Stop
- Run Relay

Enclosure Accessories

- Enclosure Doors for 291 kph (181 mph) Wind Load

Starting Aids*

- Block Heater, 110- 120 V
- Block Heater, 220- 240 V

Oil Pan Heater*

- Oil Pan Heater, 110- 120 V
- Oil Pan Heater, 190- 240 V

* One block heater or oil pan heater is required for ambient temperatures below 0°C (32°F). At temperatures below -18°C (0°F) installation of both heaters is required.

Electrical System

- Alternator Strip Heater
- Battery
- Battery Charger, 6 Amp
- Battery Charger, 10 Amp w/Alarms
- Battery Heater
- Temperature Compensation for 10 Amp Battery Charger

Miscellaneous

- Air Cleaner Restriction Indicator
- Certified Test Report
- Engine Fluids Added
- Maintenance Kit (filters, spark plugs, oil)
- Rated Power Factor Testing

Literature

- General Maintenance
- NFPA 110
- Overhaul
- Production

Warranty

- Extended 5-Year/2000 Hour Comprehensive Limited Warranty

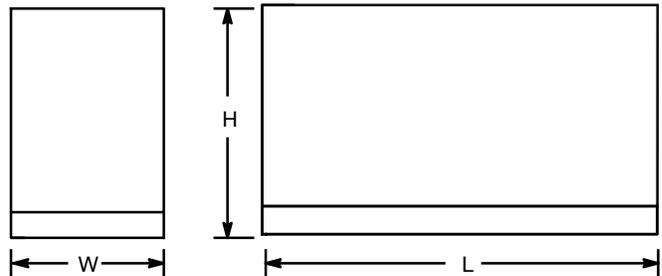
Other Options

- _____
- _____
- _____
- _____
- _____
- _____
- _____

Dimensions and Weights

Overall Size, L x W x H, mm (in.): 2280 x 830 x 1182
 (89.8 x 32.7 x 46.5)

Weight, with engine fluids, kg (lb.): 635 (1432)



NOTE: This drawing is provided for reference only and should not be used for planning. Contact your local distributor for more detailed information.

DISTRIBUTED BY:



Project Name	<u>Sussex Bowl</u>
Tax Key #	<u>231.999.012</u>

VILLAGE OF SUSSEX
 PLAN OF OPERATION
 PROCEDURE LIST

Pre-application conference must be arranged with Gabe Gilbertson, Community Development Director. Please contact us at 262-246-5215 prior to submitting your application.

Complete the following: Plan of Operation, Service Reimbursement Agreement, Emergency Contact and Wastewater Discharge Permit.

Submit the completed forms and the required fee by the last business day of the month for consideration for the next Plan Commission Agenda. Please note that submitting by the deadline does not guarantee placement on the Plan Commission Agenda. Completed forms can be emailed to ggilbertson@villagesussex.org.

The following fees are required at the time of submittal:

<input checked="" type="checkbox"/>	Plan of Operation fee	\$175.00
<input checked="" type="checkbox"/>	Conditional Use fee (if necessary)	\$210.00
<input type="checkbox"/>	Pre Occupancy inspection fee	\$100.00

Please make check payable to: Village of Sussex (fees are non refundable)

Notes: PAID 3/13/23 CHECK NO. 13568

Additional fees are required for building permits, review fees, or other items depending upon the nature of your request.

Contact Name for meetings: Beth Kjell Cell 608 575 8786
 Phone # 262-246-6808
 E-mail: Beth@sussexbowl.com

For office use only:

Met with staff on: _____
Paid fees on: _____
To be on the Plan Commission Agenda for: _____
Original forms to the following:
Plan of Operation to Jeremy _____
Service reimbursement _____
Emergency Contact to Sheriff Dept _____
Wastewater Permit to WWTP _____
Any outstanding fees owed on the property? _____

6. Is this an extension of an existing operation? YES
7. On a separate sheet of paper explain your business use and/or the change to your business. Attach a list of all items to be sold, produced or stored on the premises.
8. Is a liquor license or any other special license to be obtained from the Village Board or State Licensing Agencies? _____ Do you need an Outdoor Establishment Permit? _____
 If yes, explain: _____
 If yes, please obtain and complete permit application.

9. If your proposed operation will utilize a liquor license, what types of entertainment are you proposing? CAR/Bike Show weekly on Monday / Live Music or DJ

10. Do you feel there will be any problems such as odor, smoke or noise resulting from this operation? Yes If yes, explain: Music shall play for 3 hrs (6-9, 5-8 or 5³⁰-8³⁰)

11. Dimension of area to be occupied _____ Total square footage _____
 If applicable list square footage according to 1st floor _____ 2nd floor _____

Please provide a copy of the site plan showing parking and layout of the building and if a multi tenant building, label the space which will be occupied by your business.

12. Parking:
 Total Number of Parking Spaces 100/4 Number of spaces needed per code _____
 Number of spaces allocated for employee parking _____
 Dimensions of parking lot _____ Is parking lot paved? _____

13. Signage: What type of signage are you proposing for your business?
New sign info provided - awaiting approval.
 If applicable, complete a Sign Permit application and submit to the Building Inspection Dept. Please refer to Chapter 17.0800.

I have reviewed a copy of the Zoning Ordinance in the Village of Sussex and hereby agree to abide by the same, as well as any and all terms and conditions of any permit issued pursuant to this application.

I do swear to or affirm that all statements contained herein are true and correct to the best of our knowledge.

Stephen Haehnen 3-12-23
 Name Date
President
 Title or Position

I am aware and approve of the business to be operating in the building owned by Kim Starc-Nicholas.
Stephen Haehnen 3-12-23
 Name Date
President
 Title or Position



Village of Sussex Fire Department
N63 W24335 Main Street
Sussex, Wisconsin 53089

Fire Station - PHONE
262-246-5197
Fire Station - FAX
262-246-5196

Waukesha County Sheriff – Sussex Office

Emergency Contact Form to be completed with Plan of Operation form.

Business Name: Sussex Bowl
Business Address: N64 W24576 Main St Sussex WI 53089
Business Phone #: 262-246-6808
Business Email: Stephen@sussexbowl.com

Business Emergency Contacts

Name and Phone #: Stephen Hoehnen
Name and Phone #: Cassie Hoehnen
Name and Phone #: _____

Building Owner Name: Kim Starz-Nicholas
Building Owner Email: BOLANES@SPCGLOBAL.NFT

Building Owner Emergency Contacts

Name and Phone #: Lee Nicholas 414-750-3867
Name and Phone #: KIM STARZ-NICHOLAS 414-333-9014

Knox Box (if applies) Have locks been changed and new key provided to Fire Department? Yes No



WASTEWATER DISCHARGE PERMIT APPLICATION

Business Name: Sussex Bowl

Address: N64 W24576 Main St Sussex WI 53089

Owner/Operator: Stephen Hoehner

Standard Industrial Classification #: N/A

How many people do you employ? 40+

What are your businesses hours of work? Sunday - Saturday 8AM - 2AM

Who is responsible for water quality? (List job titles)
N/A

Time and Duration of Discharge: N/A

Average and Peak Wastewater Flow Rates (Include any daily, monthly or seasonal variations):
N/A

Please describe the activities, facilities, and plant processes on the premises including all materials and types of materials which are or could be discharged:
N/A

Please list each product your business produces. (Include type, amount and rate of production):
N/A

What are the constituents and characteristics of your wastewater?
N/A

New construction: attach site plans, floor plans, mechanical and plumbing plans and details to show all sewers and appurtenances by size, location and elevation.

Print Form

Clear Form



N64W23760 Main Street
Sussex, Wisconsin 53089
Phone (262) 246-5200
FAX (262) 246-5222
Email: info@villagesussex.org
Website: www.villagesussex.org

**VILLAGE OF SUSSEX
PROFESSIONAL SERVICES REIMBURSEMENT NOTICE**

Pursuant to the Village of Sussex Ordinance No. 3.11, the Village of Sussex Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village to the property owner incurring those fees even if the request is not approved. Also, be advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are the responsibility of the property owner even if the request is not approved. Imposition of any fees, costs or charges, however, is subjected to the property owner's appeal rights as described in said Village of Sussex Ordinances.

I, the undersigned, have been advised that, pursuant to said Village of Sussex Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village even if the request is not approved. In addition, I have been advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are my responsibility even if the request is not approved. By signing this document however, I am not waiving my appeal rights that are described in said Village of Sussex Ordinances.

PLEASE PRINT LEGIBLY

Name and Mailing Address of the Property Owner and /or Authorized Agent for Invoices:

Same as below;

Business Name: Sussex Bowl

Name of Owner and Address of the Property involved in the Request (if different from above):

Stephen Hoehner
N64W24576 Main St Sussex WI 53089

Tax Key No. of the Property involved in the Request: SUXV


Signature of Property Owner and/or Authorized Agent

3-12-23
Date

Signature of Village Official Accepting Form

Date

A copy of this completed form shall be provided to the Village Clerk for billing purposes.

The Conditional Use Standards:

17.0502 APPLICATION. Applications for conditional use permits shall be made to the Village on forms furnished by the Village and shall include Sections A, E, F and G. and may include any or all of Sections B, C, and D. as determined by the Administrator:

A. Names and addresses of the applicant, owner of the site, or other appropriate entities or persons implementing the project as required by the Administrator.

B. Description of the subject site by lot, block and recorded subdivision or by metes and bounds; address of the subject site; type of structure; proposed operation or use of the structure or site; number of employees; and the zoning district within which the subject site is located. For floodland conditional uses, such description shall also include information that is necessary for the Plan Commission to determine whether the proposed development will hamper flood flows, impair floodplain storage capacity, or cause danger to human or animal life. This additional information may include plans, certified by a registered professional engineer or land surveyor, showing elevations or contours of the ground; fill or storage elevations; first floor elevations of structures; size, location and spatial arrangement of all existing and proposed structures on the site; location and elevation of streets, water supply, and sanitary facilities; photographs showing existing land uses and vegetation upstream and downstream; soil types; and other pertinent information.

C. A topographic map, drawn to a scale of not less than 200' to 1" showing the land in question, its legal description and location; location and use of existing buildings; sanitary systems and private water supplies on such land; the high water elevation of any navigable water within 100' of the land in question; and the proposed location and use of any buildings, sanitary systems and wells on such land and within 100' of such land in question.

D. Additional information as may be required by the Plan Commission or Administrator. **{This may come out during the Public Hearing.}**

E. A fee, as may be established and periodically modified by resolution of the Village Board, shall accompany each application. Such fee shall be paid by cash, check or money order to the Village. Costs incurred by the Village in obtaining legal, planning, engineering and other technical and professional advice in connection with the review of the conditional use and preparation of conditions to be imposed shall be charged to the applicant.

F. Where necessary to comply with certain Wisconsin Statutes, an application will be submitted at the appropriate time to the Department of Natural Resources. The site plan and plan of operation information sheet and plan of operation approval form furnished by the Village shall be submitted prior to scheduling before the Plan Commission.

17.0503 REVIEW AND APPROVAL. The Plan Commission shall review the site, existing and proposed structures, architectural plans, neighboring uses, parking areas, driveway locations, highway access, traffic generation and circulation, drainage, sewerage and water systems, and the proposed operation.

A. Upon receipt of the application, foregoing data and fees, the Plan Commission shall establish a date for a public hearing and shall public notice of the hearing once each week for two consecutive weeks in the official newspaper. Notice of the public hearing shall be given to the owners of all lands within 200' of any part of the land included in such conditional use by mail at least 10 days before such public hearing. A copy of the notice of public hearing along with pertinent information relative to the specific nature of the matter (copy of application and map) shall be transmitted without delay to the Plan Commission. Compliance with this subparagraph shall not be a condition precedent to proper legal notice and no hearing or action taken thereon shall be deemed invalid or illegal because of any failure to mail the notices provided for in this subparagraph.

B. The procedure for public hearing before the Plan Commission shall be as follows: 1. Any person may appear in person, by agent, or attorney. 2. The Plan Commission shall afford the applicant and each interested

person opportunity to present evidence to rebut or offer countervailing evidence. 3. The Plan Commission shall take minutes of the proceedings and shall mark and preserve all exhibits. The Plan Commission shall, when requested by an applicant or a petitioner objecting to the action, cause the proceedings to be taken by a stenographer or by a recording device provided that the applicant or the petitioner objecting making the request pays any and all costs for the stenographer or recording device and any copies of the proceedings. If requested by both the applicant and the petitioner the costs shall be split evenly unless otherwise agreed to by the parties.

C. Within 95 days of the completion of the hearing conducted by the Plan Commission, the Plan Commission shall render its written determination stating the reasons therefore. If additional time is necessary beyond the 95 days referred to above, such time may be extended with the consent of the petitioner. Failure of the Plan Commission to render a decision as set forth shall constitute approval of the permit. The factual basis of any decision shall be solely the evidence presented at the hearing. The Village Clerk shall mail a copy of the determination to the applicant.

D. Conditions such as landscaping, architectural design, type of construction, flood proofing, anchoring of structures, construction commencement and completion dates, sureties, lighting, fencing, planting screens, operational control, hours of operation, improved traffic circulation, deed restrictions, highway access restrictions, increased yards, or parking requirements may be required by the Plan Commission upon its finding that these are necessary to fulfill the purpose and intent of this ordinance.

E. Compliance with all other provisions of this ordinance, such as lot width and area, yards, height, parking, loading, traffic, and highway access shall be required of all conditional uses unless otherwise authorized to be modified by a conditional use. Variances shall only be granted as provided in Section 17.1200 of this ordinance.

F. Changes in use subsequent to the initial issuance of a conditional use permit shall result in a need to change the initial conditions and shall require an amendment to the conditional use permit. Enlargement of a conditional use shall not be considered an amendment. If any holder of a conditional use permit wishes to extend or alter the terms of such permit, the permit holder must apply for an amendment to the conditional use permit through the procedure of application for conditional use permits detailed herein. The process for amending a permit shall generally follow the procedures for granting a permit as set forth in Sections 17.0501, 17.0502 and 17.0503, and shall require the filing of an application and a hearing as provided above.

The Zoning District Standards Section 17.0416 B-1 Neighborhood Business District

17.0416 B-1 NEIGHBORHOOD BUSINESS DISTRICT

The B-1 Business District is intended to provide for individual or small groups of retail and customer service establishments serving primarily the convenience of a local neighborhood, and the character, appearance, and operation of which are compatible with the character of the surrounding area.

A. Permitted Uses

1. Accommodations and Food Service
 - (a) Bed and breakfast establishments
 - (b) Restaurants, snack stands, and mobile food services. For a drive-through the Plan Commission must find that the vehicle stacking and noise from its operation will not impact surrounding properties or any public roadway.
 - (c) Food service contractors and caterers
2. Arts, Entertainment, and Recreation Services
 - (a) Promoter, agent, artists offices/studio

3. Educational, Health Services, and Social Services
 - (a) Fine arts and language schools and studios
 - (b) Automobile driving school
 - (c) General medical services
 - (d) Commercial day care centers provided that any outside play area is surrounded by a security fence; that no day care center is located within 300 feet of a gasoline service station, underground gasoline storage tanks, or any other storage of explosive material; that no day care center shall be located in an area where air pollution caused by smoke, dust, gases, or other particulate matter would endanger children; that no day care center shall be located in an area where noise would be so loud, shrill, or have an impulse to endanger children; that traffic be managed in a manner to minimize danger to children; and provided that adequate parking and circulation be provided on the day care facility site in accordance with the standards set forth in Section 17.0603(K)(6)(h)(3) of this Ordinance.

4. Finance, Insurance, Real Estate, and Leasing
 - (a) Financial service institutions, excluding drive through
 - (b) Financial investment, insurance offices, and similar financial products
 - (c) Real estate, appraisers, developer offices, and offices of lessors for residential and non-residential properties, excluding lessors of mini-warehouses/self-storage
 - (d) Office equipment rental and leasing

5. General Services
 - (a) Repair and maintenance of consumer electronics, home and garden equipment, appliance, furniture/reupholsters, footwear and leather goods
 - (b) Barber, beauty, nail salons, spa treatment services
 - (c) Personal care and weight loss services
 - (d) Funeral home and funeral services
 - (e) General business offices

6. Information Services
 - (a) Motion picture and video production

7. Professional, Technical, Scientific, and Administrative Services
 - (a) Legal, notaries, and title services
 - (b) Accountants, tax preparation, payroll, and other accounting services
 - (c) Architects, landscape architects, engineering, surveying services
 - (d) Interior, industrial, graphic, and fashion design services
 - (e) Consulting/professional services, advertising, management, HR, marketing, IT.
 - (f) Research and development facilities excluding industrial types
 - (g) Translation and interpretation services
 - (h) Employment placement and provider services
 - (i) Private investigators, locksmiths, security, and armored car services
 - (j) Janitorial services

8. Retail Trade
 - (a) Furniture, flooring, and home furnishing stores

- (b) Appliances, electronics, camera, office supply and copying stores
 - (c) Home improvement and hardware stores
 - (d) Grocery, convenience, and specialty food stores/markets
 - (e) Liquor/package beverage and tobacco stores
 - (f) Pharmacy, drug, beauty supplies, food supplement, and medical supply stores
 - (g) Clothing, shoes, jewelry, luggage/leather goods, formal wear/costume stores
 - (h) Entertainment stores such as books, music, sporting goods, hobby, and video tape/disc/game rental.
 - (i) Gift shops, florists, variety stores, antiques, used merchandise
 - (j) Pet and pet supply stores
 - (k) Art dealers/store
9. Manufacturing/Assembly
- (a) Processing and Assembling of Final Products provided that the limited industrial process does not exceed 2,000 square feet and the processing and assembling of final products shall be conducted entirely within an enclosed structure, and there shall be no outside storage of product or materials.
10. Public Administration and Government Services
- (a) Governmental and cultural uses such as fire and police stations, community centers, public works garages, government administration buildings, parks and playgrounds.
11. Transportation and Warehousing
- (a) U.S. postal service
 - (b) Courier, delivery, postal service businesses
- B. Permitted Accessory Uses
1. Garages for storage of vehicles used in conjunction with the operation of business.
 2. Off-street parking and loading areas. Multi-level parking garages shall be designed to minimize impact to adjacent properties and be designed to architecturally match the principal structure.
 3. Residential quarters for the owner or proprietor, located in the same building as the business.
 4. Efficiency and one-bedroom residential apartments on a non ground level provided there shall be a minimum floor area of 350 square feet for an efficiency apartment and 420 square feet for a one-bedroom apartment.
 5. Satellite dish antennas located on the roof of the principal structure or in the rear yard. Where the satellite dish is roof-mounted, a registered engineer shall certify that the structure is adequate to support the load.
 6. Roof-mounted, solar collectors provided that a registered engineer shall certify that the structure is adequate to support the load.
- C. Conditional Uses
1. Conditional uses as allowed in Section 17.0500 Conditional Uses.
 2. No Adult Oriented Establishment except as permitted in accordance with Conditional Uses Section 17.0508.
- D. Lot Area and Width
1. Lots shall be a minimum of 5,000 square feet in area and shall not be less than 60 feet in width.

2. Individual business sites in the B-1 Business District shall provide sufficient area for the principal building and its accessory buildings, off-street parking and loading areas, and required yards. There is no required minimum site width.
 3. Lot coverage by buildings, accessory structures, surface parking and loading areas, and driveways shall occupy no more than 75 percent of the lot area. Landscaped open space shall occupy not less than 25 percent of the lot area.
- E. Building Height and Area
1. No principal building or parts of a principal building shall exceed 30 feet in height.
 2. The maximum square footage of the principal building shall not exceed 30,000 square feet in size.
- F. Setback and Yards
1. There shall be a minimum building setback of 25 feet from the right-of-way of all streets.
 2. No separation shall be required between business, service or commercial uses. No structure shall be closer than 15 feet to a side lot line.
 3. There shall be a rear yard of not less than 15 feet.
 4. No building or structure shall be located closer than 15 feet to an F-1 Floodway District, F-2 Floodplain Conservancy District, or LCO Lowland Conservancy Overlay District boundary. Where shoreland regulations apply no building or structures shall be located closer than as allowed by Village shoreland regulations.
- G. Erosion Control
1. See Chapter 14 of the Municipal Code of the Village.
- H. Development Design Guidelines
1. The Village has established clear land use and design principals, as documented in the Village Design Guidelines, to guide future development planning decisions towards implementation of the Village's Smart Growth 2020 Comprehensive Plan. These guidelines are intended to serve as basic criteria during reviews, and are not to be construed as the only applicable design elements. All development proposals shall be evaluated against the adopted Village vision of maintaining a small town atmosphere within the Village, featuring a generous amount of greenspace in residential, commercial, and industrial developments.
- I. Plans and Specifications to be submitted to Plan Commission
1. To encourage a business environment that is compatible with the residential character of the Village, building permits for permitted uses in Business Districts shall not be issued without review and approval of the Plan Commission. Said review and approval shall be concerned with general layout, building plans, ingress, egress, parking, loading and unloading, and landscape plans.

17.0506

CONDITIONAL USES

- A. The following agricultural, mining, commercial, industrial, and institutional uses shall be conditional uses and may be permitted as specified, but all Conditional Use applicants must produce a "Impact Report" detailing the impacts of said use to neighboring properties and to Village services from traffic, parking, and overflow parking, noise, odor, safety, crime, hours of operation, health and sanitation, and property maintenance issues. The Village Administrator shall analyze said report

along with any supplemental reports from the Village, and its agents, to create an impact report for the application utilizing the Professional and Technical Trade standards for traffic, noise, dust, light, crime and fire prevention, etc. as a guide for the same. The Petitioner shall then prove by substantial evidence how their use will mitigate and address the findings of the impact report. In addition additional standards shall apply for specific types of uses as follows:

2. Arts, Entertainment, and Recreation: Petitioners for conditional uses in the Arts, Entertainment, and Recreation section below must prove if the use involves the discharge of weapons that the building and site design have been established to both prevent any bullet, arrow, or other item from leaving the subject property and prevent anyone unauthorized; from access to where they may be impacted by the discharge of the weapon(s).
 - a) Archery Ranges, bathhouses, beaches, boating, camps, conservatories, driving ranges, firearm ranges, golf courses, ice boating, marinas, polo fields, riding academies, and stadiums in the A-1 district provided that the lot area is not less than three (3) acres and all structures are not less than 50 feet from any district boundary.
 - b) Music/theater halls, museums, historical sites, zoological and botanical gardens in the B-1, B-3, and A-1 districts.
 - c) Commercial Recreation Facilities, such as arcades, bowling alleys, dance halls, driving ranges, gymnasiums, lodges, miniature golf facilities, physical fitness and recreational sports facilities, pool and billiard halls, racetracks, rifle ranges, tennis courts, volley ball courts, Turkish baths, swimming pools, and skating rinks, are conditional uses and may be permitted in the B-1,

Site Plan Review Standards 17.1000

17.1002 PRINCIPLES To implement and define criteria for the purposes set forth in Section 17.1001, the following principles are established to apply to all new structures and uses and to changes or additions to existing structures and uses.

A. No structure, or use shall be established that is counter to the intent of the Design Standards nor shall the same be permitted that would have a negative impact on the maintenance of safe and healthful conditions in the Village. Structures and uses in the B-4 Central Mixed Use District shall also adhere to the intent of the Downtown Development and Design Plan.

B. No structure shall be permitted:

1. The design or exterior appearance of which is of such unorthodox or abnormal character in relation to its surroundings as to be unsightly or offensive to generally accepted taste and community standards.

2. The design or exterior appearance of which is so identical to a building on lots within 500 feet of each other that it creates excessive monotony or 17.1000 drabness, in order to realize architectural uniqueness between lots.

3. Where any exposed facade is not constructed or faced with a finished material or color which is aesthetically compatible with the other facades and presents an attractive appearance to the public and to surrounding properties.

C. The facade of a manufacturing building which faces upon a street right-of-way shall be finished with an aesthetically pleasing material. A minimum of 50 percent of a facade facing a street shall be finished with brick or decorative masonry material. Such masonry facing shall extend for a distance of at least 10 feet along

the sides of the structure. Manufacturing buildings on corner lots shall have the required masonry facade facing each street. Metal buildings may be constructed in any business, manufacturing, institutional, or park district, but only by a 3/4 affirmative vote of the Plan Commission.

D. Building Scale and Mass. The relative proportion of a building to its neighboring buildings, to pedestrians and observers, or to other existing buildings shall be maintained or enhanced when new buildings are built or when existing buildings are remodeled or altered.

E. Structures and uses shall make appropriate use of open spaces and the Plan Commission may require appropriate landscaping and planting screens. All landscaped areas shall provide a mix of climax trees, tall and medium deciduous trees, tall and medium coniferous trees, deciduous and coniferous shrubs, and grasses. The appropriate mix shall be determined by the Plan Commission.

F. No articles, goods, material, finished or unfinished product, incinerators, storage tanks, refuse containers, or like equipment shall be kept outdoors, exposed to public view, or exposed to view from adjacent buildings and property. Garbage and refuse containers shall be screened from the street and from neighboring facilities. The Plan Commission may permit the outdoor display of product or merchandise when it makes a finding that such display is essential to a business or industrial use.

G. Structures and uses shall be provided with adequate services as approved by the appropriate utility and serve to implement the recommendations of Utility and Stormwater Management Plans of the Village.

H. Buildings and uses shall provide adequate parking and loading areas. No loading dock or overhead door shall face upon a street right-of-way unless a determination is made by the Plan Commission to allow the same, as described herein.

1. The Plan Commission shall not allow the same unless the Plan Commission first finds either a or b: (a) That the loading dock or overhead door is set back at least 75 feet from the street right-of-way and adequate vehicle turnaround areas have been provided on the lot, such that no maneuvering of vehicles will take place within the street right-of-way in order to access the loading dock or overhead door. (b) That the building is on a lot within the M-1 Industrial District and the building has a previously approved loading dock facing the street.

2. If the Plan Commission finds (1) (a) or (1) (b), above, then the Plan Commission may allow the loading dock or overhead door to face the street right-of-way upon consideration of the following additional factors, without limitation by reason of enumeration: 17.1000 (a) Whether the loading dock or overhead door is set back sufficiently from the street right-of-way to adequately limit the adverse visual impact of the loading dock or overhead door; (b) Whether the number of loading docks or overhead doors that are proposed to face the street right-of-way, due to their number, would create an adverse visual impact; (c) Whether the natural terrain and other existing features of the lot may affect the visual impact of the loading dock or overhead door; and (d) Whether the loading dock or overhead door will be appropriately screened with landscape berms or other landscaping.

Any other standards from Chapter 17 that may be relevant.

Action Plan for Sussex Bowl Car/Bike Nite Cruise In

- Guests participating in cruise in will enter off Main Street and follow route around to park accordingly in spots (1 car or truck 1 spot, 2 bikes 1 spot) directed by SB employees dressed in bright staff/security shirts .
- Our parking Lot will be monitored at 4pm to accommodate cruise in guests by SB volunteers/employees at entrance, exit and directing motorized participants & guests to appropriate parking. A SB employee across the street at strip mall till 5pm to keep their lot available to their guests till they close. Strip mall lot will be cleaned up Monday night by SB employees to assure cleanliness of neighbor's lot. Permissions have been given from Property Manager & tenants.
- (2) Port-a-potties will be dropped 1 week prior to start of event week of May 1st - May 5th.
- Cruise In Event shall run Every Monday starting May 8th through August 28th from 4pm - 10pm. (Current permissions for 5/8, 5/22, Live music or DJ will be available & on stage from 5pm-8pm.
 - Additional Temporary beer/soda stand outside of building a possibility. All guests to be carded & IDs verified by SB employee(S) and wrist banded for easy identification. (Colors of wrist bands to change weekly)
- 50/50 Raffles will be on site with 1/2 donations going to yearly charity. (1st year will be Optimist Club, other will be determined & tracked on a yearly basis) Raffle license applied for.
- Electricity will be supplied for stage area & additional temporary beer/soda/food by Sussex Bowl via inside of building or from volleyball area.

April 10, 2023

Village of Sussex License Committee

Revised Extension of Premise

Sussex Bowl Monday Night Outdoor Pistons & Pins Events May through September

Our current License allows the sale of alcoholic beverages to be sold inside of Sussex Bowl & beverages can be consumed outside in our volleyball courts, bags area & front patio area.

1. We would like to expand the area to include the entire parking lot for our Monday Night events to run from 4pm-10pm. All guests will be wrist banded to show proper ID has been shown for consumption of alcoholic beverages. There will be alcoholic beverages served from the Volleyball bar area bar, inside bar and possibly a smaller mobile beer station. The outside bars will be closed by no later than 10:00pm unless noted to Village Hall.
2. We will have live music or a DJ performing in the volleyball area from 5pm - 8pm. Within the volleyball area the speakers will be monitored and modified as need be with a decibel meter within village guidelines. After 8pm regular piped in music from the food & beverage hut will be used in accordance with the village's guidelines.
3. There will be a one-way entrance into Sussex Bowl on Main Street & an exit onto Pewaukee St monitored & directed by staff at Sussex Bowl.
4. Other parking available to guests will be on Pewaukee Rd, and we have made arrangements for parking at the Wessex Centre with the tenants and have received permission from Baceline (Property Management) after they close.

Thank you for your time and consideration of our plan. We look forward to bringing more awareness to the youth of the area of great machinery shown throughout the summer season and contributing to a variety of charities throughout the years. Any questions please feel free to contact Stephen Hoehnen 262-719-2189 or Beth Kjell 608-575-8786

Sincerely,

Sussex Bowl Impact Report for Sussex Bowl's Pistons & Pins Cruise in 2023

Traffic - Should not be disrupted as we will have a dedicated entrance & exit from 4pm - 10pm

Parking - will be limited to one side of Pewaukee Road. We will be responsible for temporarily blocking off one side of the street parking sited by Fire Dept. / Wessex tenants have signed off on acknowledgement paperwork that we will be using their lot for overflow. Parking would continue as normal for the rest of Pewaukee Road. We've made an inquiry with our insurance agent about adding Wessex (Baceline Group) to our Certificate of Insurance for Mondays.

1. Noise - We will maintain whatever level decibel the village allows by utilizing a decibel meter as needed. Live music or DJ shall cease at 8:00pm. After 8pm regular piped in music from the food & beverage hut will be used in accordance with the village's guidelines.

Odor - We do not anticipate any odor out of the ordinary to occur.

Safety - Large orange cones will mark crossing from Wessex (this will be a process to see where heavy volume occurs) Our staff will be in bright colored shirts, so guests or village personnel know who to talk to for questions.

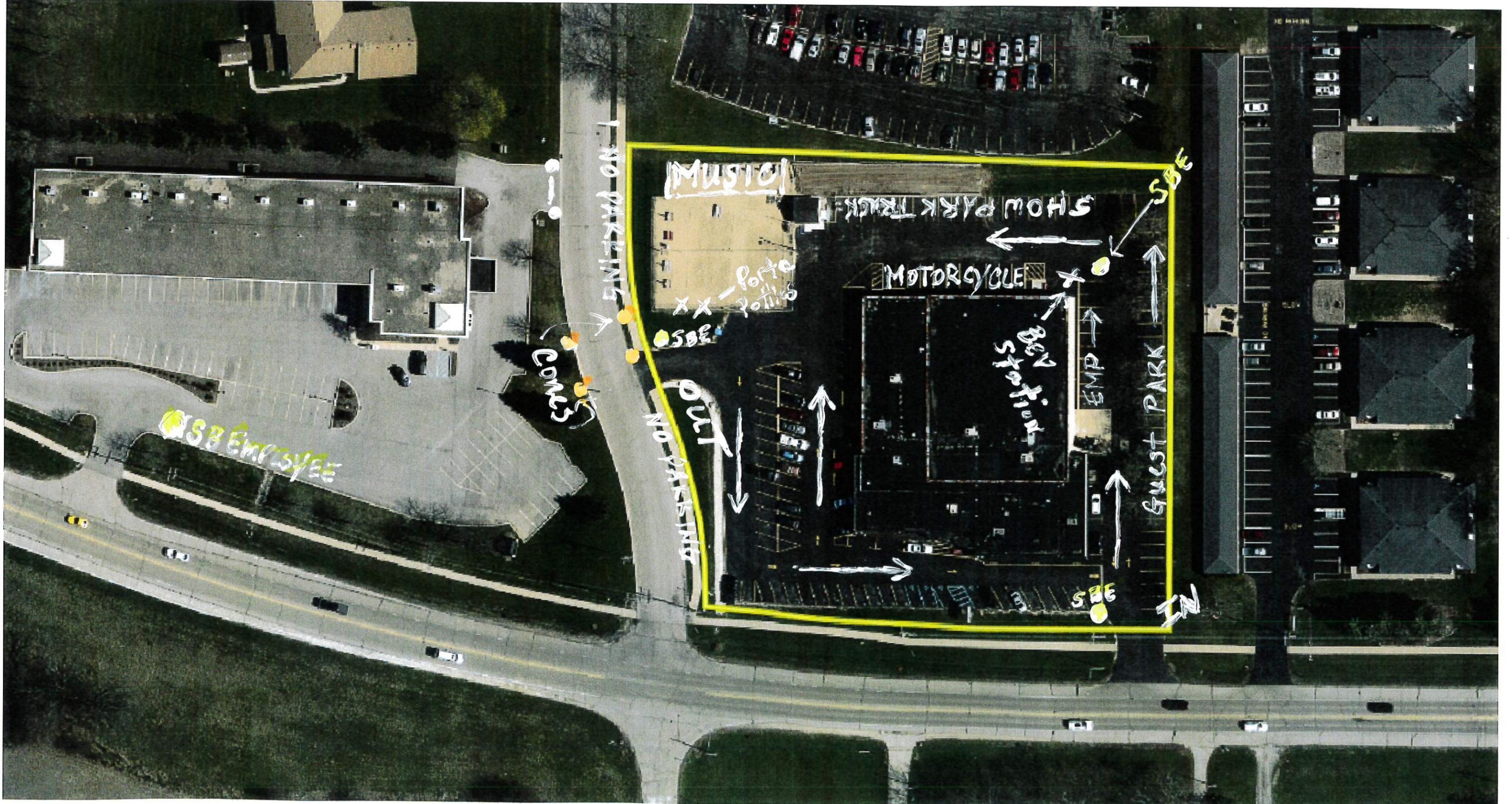
Crime - We do not anticipate any crime related activity.

Hours of Operation - The outside area will be operating from 4pm (2/3pm set up) till 10pm.

Health & Sanitation - We will have (2) port potties on site along with multiple trash & recycling stations. We have (3) full bathroom facilities inside the bowling center with hand washing stations in each available for all guests.

Property Maintenance - We maintain our own property and will pick up all debris in Wessex Lot on Monday's when shows occur throughout the cruise in year (May - August)

Any questions or concerns, feel free to contact me at 608-575-8786



MUSIC

SHOW PARK TRUCK

MOTORCYCLE

Be Staffing

EMP

GUEST PARK

SBE

OUT
NO PARKING

NO PARKING

CONES

SBE EMPLOYEE

Porte
pottis

SBE

SBE

SBE

Action Plan for Sussex Bowl Car/Bike Nite Cruise In

- Guests participating in cruise in will enter off Main Street and follow route around to park accordingly in spots (1 car or truck 1 spot, 2 bikes 1 spot) directed by SB employees dressed in bright staff/security shirts .
- Our parking Lot will be monitored at 4pm to accommodate cruise in guests by SB volunteers/employees at entrance, exit and directing motorized participants & guests to appropriate parking. A SB employee across the street at strip mall till 5pm to keep their lot available to their guests till they close. Strip mall lot will be cleaned up Monday night by SB employees to assure cleanliness of neighbor's lot. Permissions have been given from Property Manager & tenants.
- (2) Port-a-potties will be dropped 1 week prior to start of event week of May 1st - May 5th.
- Cruise In Event shall run Every Monday starting May 8th through August 28th from 4pm - 10pm. (Current permissions for 5/8, 5/22, Live music or DJ will be available & on stage from 5pm-8pm.
 - Additional Temporary beer/soda stand outside of building a possibility. All guests to be carded & IDs verified by SB employee(S) and wrist banded for easy identification. (Colors of wrist bands to change weekly)
- 50/50 Raffles will be on site with 1/2 donations going to yearly charity. (1st year will be Optimist Club, other will be determined & tracked on a yearly basis) Raffle license applied for.
- Electricity will be supplied for stage area & additional temporary beer/soda/food by Sussex Bowl via inside of building or from volleyball area.

April 10, 2023

Village of Sussex License Committee

Revised Extension of Premise

Sussex Bowl Monday Night Outdoor Pistons & Pins Events May through September

Our current License allows the sale of alcoholic beverages to be sold inside of Sussex Bowl & beverages can be consumed outside in our volleyball courts, bags area & front patio area.

1. We would like to expand the area to include the entire parking lot for our Monday Night events to run from 4pm-10pm. All guests will be wrist banded to show proper ID has been shown for consumption of alcoholic beverages. There will be alcoholic beverages served from the Volleyball bar area bar, inside bar and possibly a smaller mobile beer station. The outside bars will be closed by no later than 10:00pm unless noted to Village Hall.
2. We will have live music or a DJ performing in the volleyball area from 5pm - 8pm. Within the volleyball area the speakers will be monitored and modified as need be with a decibel meter within village guidelines. After 8pm regular piped in music from the food & beverage hut will be used in accordance with the village's guidelines.
3. There will be a one-way entrance into Sussex Bowl on Main Street & an exit onto Pewaukee St monitored & directed by staff at Sussex Bowl.
4. Other parking available to guests will be on Pewaukee Rd, and we have made arrangements for parking at the Wessex Centre with the tenants and have received permission from Baceline (Property Management) after they close.

Thank you for your time and consideration of our plan. We look forward to bringing more awareness to the youth of the area of great machinery shown throughout the summer season and contributing to a variety of charities throughout the years. Any questions please feel free to contact Stephen Hoehnen 262-719-2189 or Beth Kjell 608-575-8786

Sincerely,

Sussex Bowl Impact Report for Sussex Bowl's Pistons & Pins Cruise in 2023

Traffic - Should not be disrupted as we will have a dedicated entrance & exit from 4pm - 10pm

Parking - will be limited to one side of Pewaukee Road. We will be responsible for temporarily blocking off one side of the street parking sited by Fire Dept. / Wessex tenants have signed off on acknowledgement paperwork that we will be using their lot for overflow. Parking would continue as normal for the rest of Pewaukee Road. We've made an inquiry with our insurance agent about adding Wessex (Baceline Group) to our Certificate of Insurance for Mondays.

1. Noise - We will maintain whatever level decibel the village allows by utilizing a decibel meter as needed. Live music or DJ shall cease at 8:00pm. After 8pm regular piped in music from the food & beverage hut will be used in accordance with the village's guidelines.

Odor - We do not anticipate any odor out of the ordinary to occur.

Safety - Large orange cones will mark crossing from Wessex (this will be a process to see where heavy volume occurs) Our staff will be in bright colored shirts, so guests or village personnel know who to talk to for questions.

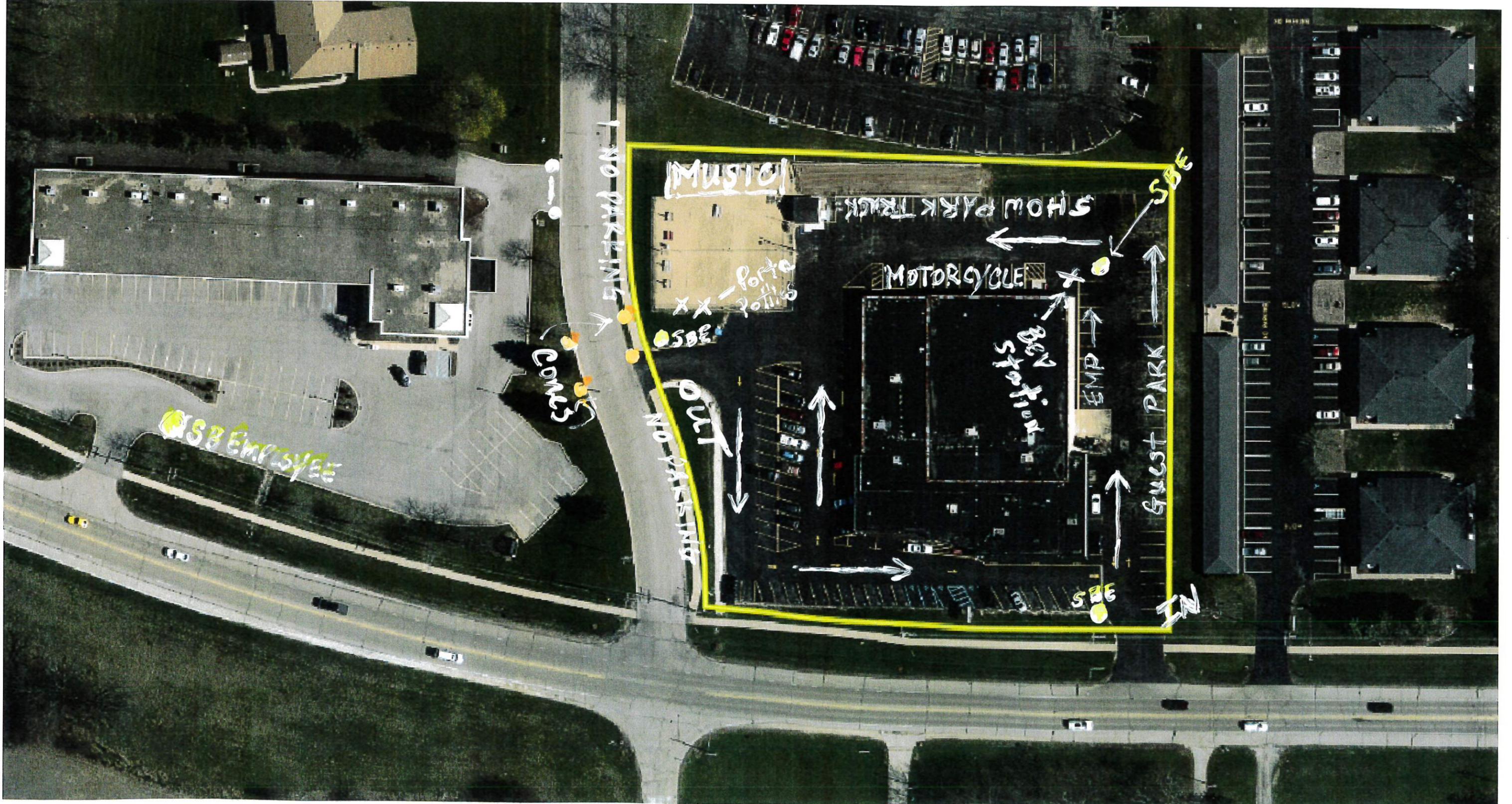
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SBE EMPLOYEE

Porte
potties

SBE

SBE

SBE



Project Name	<u>Sussex Bowl</u>
Tax Key #	<u>231.999.012</u>

VILLAGE OF SUSSEX
 PLAN OF OPERATION
 PROCEDURE LIST

Pre-application conference must be arranged with Gabe Gilbertson, Community Development Director. Please contact us at 262-246-5215 prior to submitting your application.

Complete the following: Plan of Operation, Service Reimbursement Agreement, Emergency Contact and Wastewater Discharge Permit.

Submit the completed forms and the required fee by the last business day of the month for consideration for the next Plan Commission Agenda. Please note that submitting by the deadline does not guarantee placement on the Plan Commission Agenda. Completed forms can be emailed to ggilbertson@villagesussex.org.

The following fees are required at the time of submittal:

<input checked="" type="checkbox"/>	Plan of Operation fee	\$175.00
<input checked="" type="checkbox"/>	Conditional Use fee (if necessary)	\$210.00
<input type="checkbox"/>	Pre Occupancy inspection fee	\$100.00

Please make check payable to: Village of Sussex (fees are non refundable)

Notes: PAID 3/13/23 CHECK NO. 13568

Additional fees are required for building permits, review fees, or other items depending upon the nature of your request.

Contact Name for meetings: Beth Kjell Cell 608 575 8786
 Phone # 262-246-6808
 E-mail: Beth@sussexbowl.com

For office use only:

Met with staff on: _____
Paid fees on: _____
To be on the Plan Commission Agenda for: _____
Original forms to the following:
Plan of Operation to Jeremy _____
Service reimbursement _____
Emergency Contact to Sheriff Dept _____
Wastewater Permit to WWTP _____
Any outstanding fees owed on the property? _____

6. Is this an extension of an existing operation? YES
7. On a separate sheet of paper explain your business use and/or the change to your business. Attach a list of all items to be sold, produced or stored on the premises.
8. Is a liquor license or any other special license to be obtained from the Village Board or State Licensing Agencies? _____ Do you need an Outdoor Establishment Permit? _____
 If yes, explain: _____
 If yes, please obtain and complete permit application.

9. If your proposed operation will utilize a liquor license, what types of entertainment are you proposing? CAR/Bike Show weekly on Monday / Live Music or DJ

10. Do you feel there will be any problems such as odor, smoke or noise resulting from this operation? Yes If yes, explain: Music shall play for 3 hrs (6-9, 5-8 or 5³⁰-8³⁰)

11. Dimension of area to be occupied _____ Total square footage _____
 If applicable list square footage according to 1st floor _____ 2nd floor _____

Please provide a copy of the site plan showing parking and layout of the building and if a multi tenant building, label the space which will be occupied by your business.

12. Parking:
 Total Number of Parking Spaces 100/4 Number of spaces needed per code _____
 Number of spaces allocated for employee parking _____
 Dimensions of parking lot _____ Is parking lot paved? _____

13. Signage: What type of signage are you proposing for your business?
New sign info provided - awaiting approval.
 If applicable, complete a Sign Permit application and submit to the Building Inspection Dept. Please refer to Chapter 17.0800.

I have reviewed a copy of the Zoning Ordinance in the Village of Sussex and hereby agree to abide by the same, as well as any and all terms and conditions of any permit issued pursuant to this application.

I do swear to or affirm that all statements contained herein are true and correct to the best of our knowledge.

Stephen Haehnen 3-12-23
 Name Date
President
 Title or Position

I am aware and approve of the business to be operating in the building owned by Kim Starc-Nicholas.
Stephen Haehnen 3-12-23
 Name Date
President
 Title or Position



Village of Sussex Fire Department
N63 W24335 Main Street
Sussex, Wisconsin 53089

Fire Station - PHONE
262-246-5197
Fire Station - FAX
262-246-5196

Waukesha County Sheriff – Sussex Office

Emergency Contact Form to be completed with Plan of Operation form.

Business Name: Sussex Bowl
Business Address: N64 W24576 Main St Sussex WI 53089
Business Phone #: 262-246-6808
Business Email: Stephen@sussexbowl.com

Business Emergency Contacts

Name and Phone #: Stephen Hoehnen
Name and Phone #: Cassie Hoehnen
Name and Phone #: _____

Building Owner Name: Kim Starz-Nicholas
Building Owner Email: BOLANES@SBCGLOBAL.NET

Building Owner Emergency Contacts

Name and Phone #: Lee Nicholas 414-750-3867
Name and Phone #: KIM STARZ-NICHOLAS 414-333-9014

Knox Box (if applies) Have locks been changed and new key provided to Fire Department? Yes No



WASTEWATER DISCHARGE PERMIT APPLICATION

Business Name: Sussex Bowl

Address: N64 W24576 Main St Sussex WI 53089

Owner/Operator: Stephen Hoehner

Standard Industrial Classification #: N/A

How many people do you employ? 40+

What are your businesses hours of work? Sunday - Saturday 8AM - 2AM

Who is responsible for water quality? (List job titles)
N/A

Time and Duration of Discharge: N/A

Average and Peak Wastewater Flow Rates (Include any daily, monthly or seasonal variations):
N/A

Please describe the activities, facilities, and plant processes on the premises including all materials and types of materials which are or could be discharged:
N/A

Please list each product your business produces. (Include type, amount and rate of production):
N/A

What are the constituents and characteristics of your wastewater?
N/A

New construction: attach site plans, floor plans, mechanical and plumbing plans and details to show all sewers and appurtenances by size, location and elevation.

Print Form

Clear Form



N64W23760 Main Street
Sussex, Wisconsin 53089
Phone (262) 246-5200
FAX (262) 246-5222
Email: info@villagesussex.org
Website: www.villagesussex.org

**VILLAGE OF SUSSEX
PROFESSIONAL SERVICES REIMBURSEMENT NOTICE**

Pursuant to the Village of Sussex Ordinance No. 3.11, the Village of Sussex Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Clerk shall charge that service for the fees incurred by the Village to the property owner incurring those fees even if the request is not approved. Also, be advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are the responsibility of the property owner even if the request is not approved. Imposition of any fees, costs or charges, however, is subjected to the property owner's appeal rights as described in said Village of Sussex Ordinances.

I, the undersigned, have been advised that, pursuant to said Village of Sussex Ordinances, if the Village Attorney, Village Engineer, Village Planner or any other Village professional provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred by the Village even if the request is not approved. In addition, I have been advised that pursuant to said Village of Sussex Ordinances, certain other fees, costs, and charges are my responsibility even if the request is not approved. By signing this document however, I am not waiving my appeal rights that are described in said Village of Sussex Ordinances.

PLEASE PRINT LEGIBLY

Name and Mailing Address of the Property Owner and /or Authorized Agent for Invoices:

Same as below;

Business Name: Sussex Bowl

Name of Owner and Address of the Property involved in the Request (if different from above):

Stephen Hoehner
N64W24576 Main St Sussex WI 53089

Tax Key No. of the Property involved in the Request: SUXV


Signature of Property Owner and/or Authorized Agent

3-12-23
Date

Signature of Village Official Accepting Form

Date

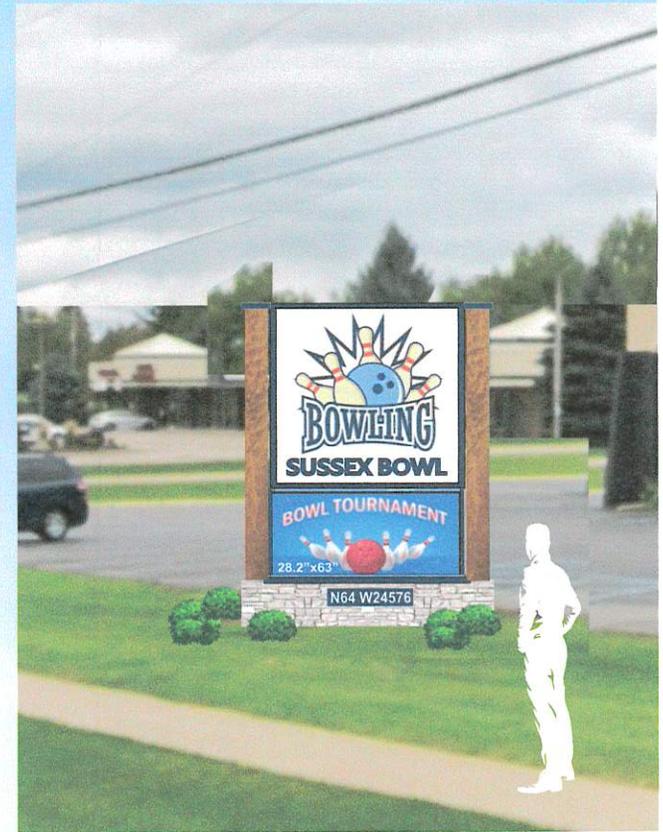
A copy of this completed form shall be provided to the Village Clerk for billing purposes.

FINAL PROPOSED - OPTION ONE (DESIGN)

DESCRIPTION:
 DOUBLE SIDED INTERNAL LIT USING WHITE LED'S, ID CABINET, FACES ARE WHITE POLY WITH FIRST SURFACE VINYL-BACKGROUND IS OPAQUE. LOWER CABINET IS DOUBLE SIDED FULL COLOR 10MM EMC, SIZE 25"X 63". LOWER BASE IS STONE VENEER OVER ALUMINUM FRAME. CONCRETE USED TO FILL. SIGN WELDED TO EXISTING POLE OR (2) EXISTING POLES AS REQUIRED. EXISTING SIGN TO BE REMOVED AND DISCARDED. THIS OPTION, SIDE COLUMNS ARE FABRICATED SEALED WOOD.



EXISTING



PROPOSED

COLORS:

- DARK BLUE - CABINET BODY- TBD
- LIGHT BLUE ACCENT - TBD



W134N5504 Campbell Dr.
 Menomonee Falls, WI 53051
 OptimumSignsWI.com | 262.289.9481
 info@optimumsignswi.com

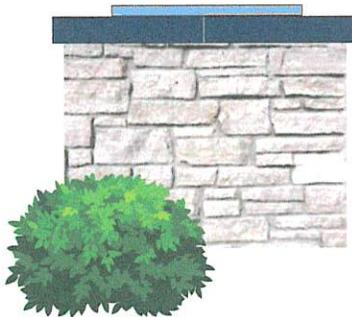
Project: SUSSEX BOWL
Date: 12/09/2022 **Designer:** JDK

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ACTUAL IMAGE OF PROPOSED STONE



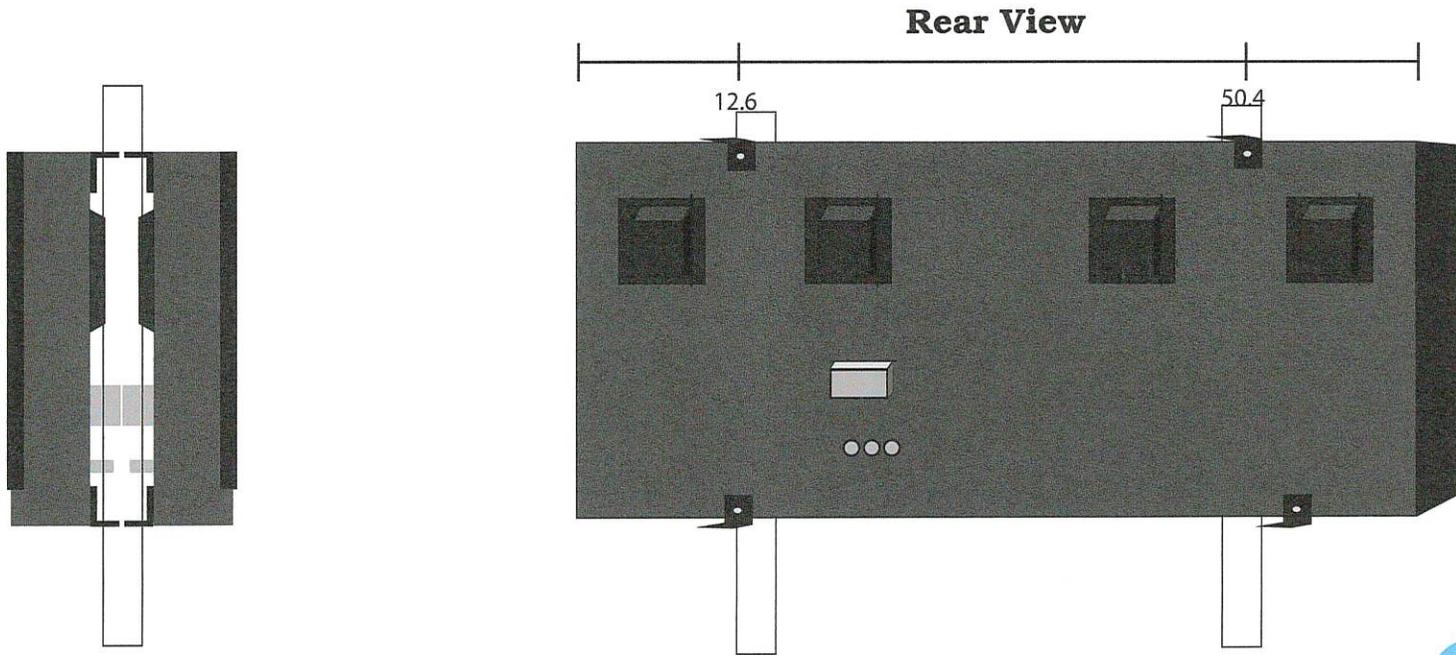
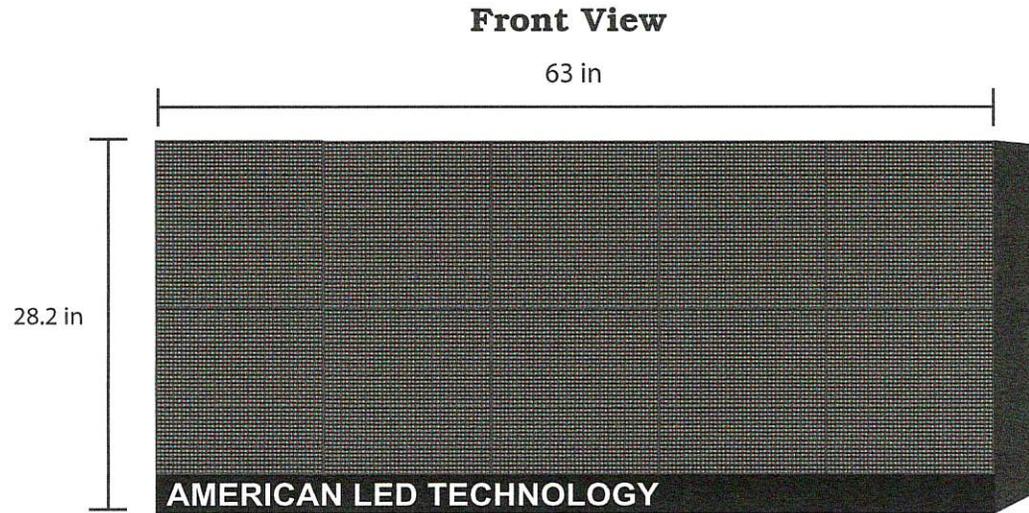
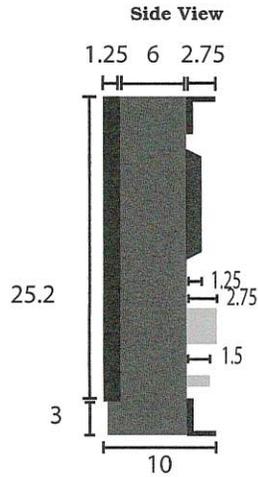
W134N5504 Campbell Dr.
Menomonee Falls, WI 53051
OptimumSignsWI.com | 262.289.9481
info@optimumsignswi.com

Project: SUSSEX BOWL
Date: 12/09/2022 **Designer:** JDK

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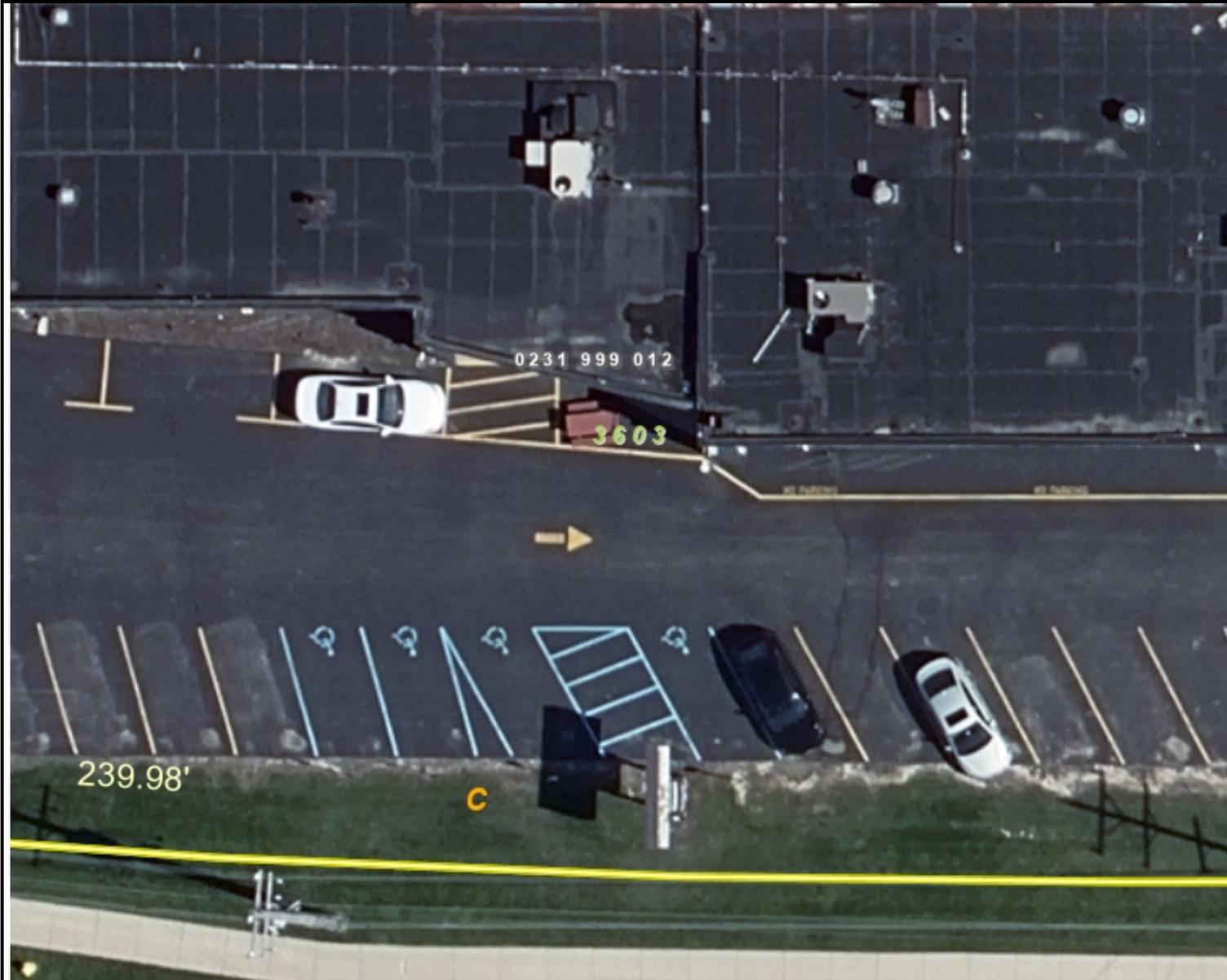
2.35 x 5.25 ft



1.877.533.6284 (Toll Free) | 1.850.863.8777 (Local) | Sales@AmericanLEDTechnology.com

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Legend

- Municipal Boundary_2K
- Parcel_Dimension_2K
- Note_Text_2K
- Lots_2K
 - Lot
 - Unit
 - General Common Element
 - Outlot
- SimultaneousConveyance
 - Assessor Plat
 - CSM
 - Condominium
 - Subdivision
- Cartoline_2K
 - EA-Easement_Line
 - PL-DA
 - PL-Extended_Tie_line
 - PL-Meander_Line
 - PL-Note
 - PL-Tie
 - PL-Tie_Line
 - <all other values>
- Railroad_2K

0 18.13 Feet

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Notes:

Printed: 3/2/2023

