



N64W23760 Main Street
Sussex, Wisconsin 53089
Phone (262) 246-5200
FAX (262) 246-5222
Email: info@villagesussex.org
Website: www.villagesussex.org

Architectural Review Board Agenda
4:00 PM Wednesday, April 3, 2024
Sussex Civic Center – Committee Room Second Floor

Pursuant to the requirements of Section 19.84, Wis. Stats., notice is hereby given of a meeting of the Village of Sussex Architectural Review Board, at which a quorum of the Village Board may attend in order to gather information about a subject which they have decision making responsibility. The meeting will be held at the above noted date, time and location. (If a Quorum is present the Chairperson shall announce, "Please let the minutes reflect that a quorum of the Village Board is present and that the Village Board members may be making comments under the Public Comments section of the agenda, during any Public Hearing(s) or if the rules are suspended to allow them to do so.)

1. Roll call.
2. Consideration and possible action on the minutes of February 7, 2024.
3. Consideration and possible action on exterior window vinyl for The Dollar Tree located at W249N5245 Executive Dr.
4. Consideration and possible action on the site plan, architectural plan, lighting plan, landscape plan for a Mr. D's Carwash.
5. Adjournment.

Anthony LeDonne
Chairperson

Jeremy Smith
Village Administrator

Please note that, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact Jeremy Smith at 246-5200.



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MEMORANDUM

TO: Architectural Review Board
FROM: Gabriel Gilbertson, Community Development Director
RE: April 3, 2024 Architectural Review Board
DATE: Monday, April 1, 2024

The following is background information for the ARB agenda items (Design Standards 3-25-2014)

- I. **Roll call.**
- II. **Consideration and possible action on the ARB minutes of February 7, 2024.**
- III. **Consideration and possible action on exterior window vinyl for The Dollar Tree located at W249N5245 Executive Dr.**

The Dollar Tree is nearing completion on a renovation of the former Bistro Z restaurant into one of their new locations. The Dollar Tree would be occupying the entire building except for the existing Subway location.

During the renovation, Dollar Tree asked about putting a vinyl on the windows to screen the backside of the shelving units that were installed internally.

Policy Question:

1. Are there any concerns with the proposed window vinyl?

Action Items:

1. Act on the submitted plan.

Staff Recommendation: Staff recommends the Architectural Review Board discuss the proposed window vinyl to determine if it is appropriate for the development.

- IV. **Consideration and possible action on the site plan, architectural plan, lighting plan, landscape plan for a Mr. D's Carwash.**

The subject property is zoned B-3 Highway Business and is located directly north of Waukesha State Bank in the Metro Market commercial development. The land is currently vacant and the applicant is proposing to construct a Mr. D's Carwash. Section 17.0506(9)(A)(1) requires a Conditional Use Permit for vehicle washing in the B-3 Highway Business District.

The car wash would be oriented north/south on the west side of the property with vacuum stations on the east side of the building screened from Highway 164. Pay stations and vehicles stacking would also be on the east side of the property. The Municipal Code requires one stall

per employee on the largest shift and according to the application, the largest shift would have 3 employees. The site plan is providing 4 dedicated parking spaces separate from the vacuum stations. The Code also requires enough room for 4 waiting vehicles per washing stall and space for 2 vehicles for vacuuming. There are 15 vacuum stations and space for 15+ waiting vehicles.

Site

- Building meets minimum employee parking and vehicle stacking requirements.

Architecture

- The building is constructed primarily of concrete masonry units. The use of color and projections will provide some variation to the building's façade.
- A wood-look tile will be used on the tower elements of the building to provide an additional material/color.
- The building meets the minimum height and setback requirements for the Code.
- The submitted plans do not show any roof-mounted HVAC units. If those are to be installed, a plan will need to be submitted to Staff with their locations and methods of screening.

Lighting

- The plan set did not include lighting details. A light plan will need to be submitted to Staff for review and to ensure its compliance with the Design Guidelines.

Landscaping

- Site is proposing 15 trees, 132 shrubs/grasses, and 88 perennial flowers. The site should add additional evergreen trees in the northern corner to provide additional screening from the multifamily development to the north and to bring the site in closer to the required number of trees as part of the landscape buffer requirements.

Policy Question:

1. Are there any concerns with the various plans?

Action Items:

1. Act on the various plans.

Staff Recommendation: Staff recommends the Architectural Review Board approve the site, architectural, and landscape plan for Mr. D's Carwash located at the parcel identified by Tax Key No. 231.997.014.

VILLAGE OF SUSSEX
SUSSEX, WISCONSIN

Minutes of the Architectural Review Board (ARB) meeting held on February 7, 2024.

President LeDonne called the meeting to order at 4:09 p.m.

Members present: Anthony LeDonne, Gary Foxe, and Stacy Riedel

Members absent: Michael Smith

Others present: Gabe Gilbertson, Community Development Director

Consideration and possible action on the minutes of December 6, 2023.

A motion President LeDonne, seconded by Riedel to approve the minutes of the meeting held on December 6, 2023.

All ayes, motion carried.

Discussion and possible action on types of model homes offered by Tim O'Brien Homes in the Sussex Preserve Subdivision.

A motion by President LeDonne, second by Foxe to suspend Robert's Rules of Order to allow members of the Sussex Preserve HOA to ask the petitioner questions regarding the proposed home models.

All ayes, motion carried.

Member Mike Knapp arrived at 4:26 p.m.

A motion by President LeDonne, second by Foxe to reinstate Robert's Rules of Order.

All ayes, motion carried.

Motion by President LeDonne, second by Reidel to approve the proposed models for Tim O'Brien Homes for the Sussex Preserve Subdivision as shown and described in the attached exhibit and as follows subject to the architecture and materials being consistent with the homes currently in the subdivision and continued compliance with the Village of Sussex Design Guidelines.

All ayes, motion carried.

A motion by President LeDonne, seconded by Foxe to adjourn the meeting at 4:29 pm.

All ayes, motion carried.

Respectfully submitted,
Jeremy Smith, Village Administrator



NGS

140 Mountain Brook Dr
Canton, GA 30115
p 888.995.4263
f 888.995.6636

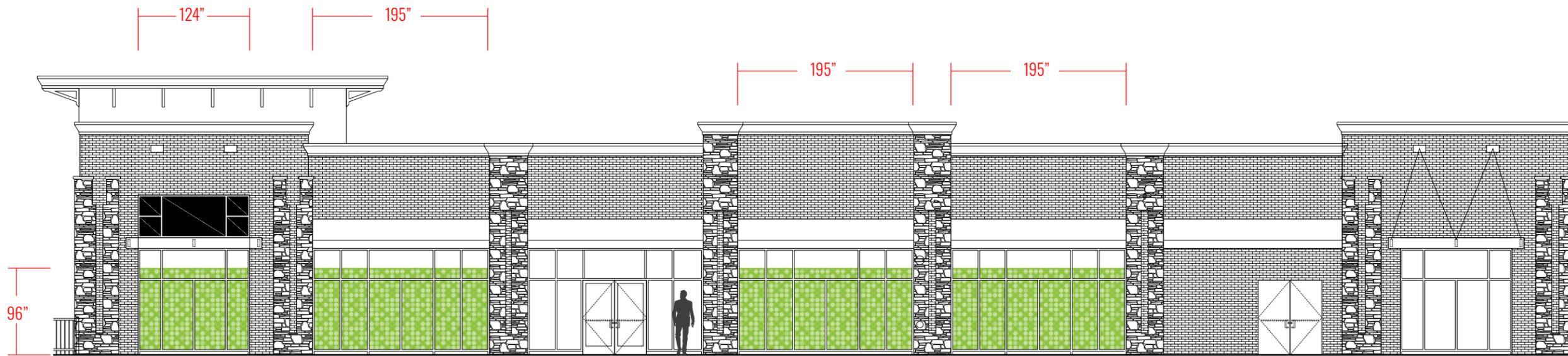
Key Verbiage:
First Surface: Exterior side of glass
Second Surface: Interior side of glass

STOREFRONT ENTRY GRAPHICS
EXTERIOR GRAPHICS PROGRAM
Sussex, WI

EXTERIOR BRANDING
ELEVATION 1

SCOPE OF WORK

Full color graphics covering entire pane, to be applied to the first (front) surface. Dots pattern in varying intensities (strengths) of white overlaid onto logo green.



JOB NAME
Dollar Tree

JOB LOCATION
Sussex, WI

NGS REP
Josh Glancy, jglancy@filmsandgraphics.com
866-925-2083

DATE/NOTES
02/22/24 ABA: drawn

1 ELEVATION #1
scale: 3/32" = 1'-0"

NGS 140 Mountain Brook Dr
Canton, GA 30115
p 888.995.4263
f 888.995.6636

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EXTERIOR BRANDING
ELEVATION 2

SCOPE OF WORK

Full color graphics covering entire pane, to be applied to the first (front) surface. Dots pattern in varying intensities (strengths) of white overlaid onto logo green.



1 ELEVATION #2
scale: 3/32" = 1'-0"

JOB NAME
Dollar Tree

JOB LOCATION
Sussex, WI

NGS REP
Josh Glancy, jglancy@filmsandgraphics.com
866-925-2083

DATE/NOTES
02/22/24 ABA: drawn

NGS 140 Mountain Brook Dr
Canton, GA 30115
p 888.995.4263
f 888.995.6636

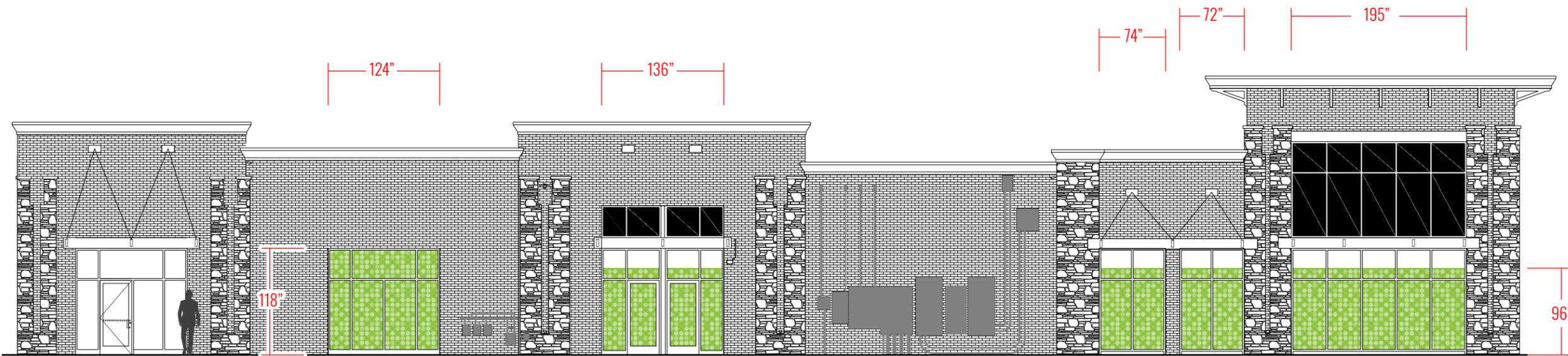
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EXTERIOR BRANDING
ELEVATION 3

SCOPE OF WORK

Full color graphics covering entire pane, to be applied to the first (front) surface. Dots pattern in varying intensities (strengths) of white overlaid onto logo green.



1 ELEVATION #3
scale: 3/32" = 1'-0"

JOB NAME
Dollar Tree

JOB LOCATION
Sussex, WI

NGS REP
Josh Glancy, jglancy@filmsandgraphics.com
866-925-2083

DATE/NOTES
02/22/24 ABA: drawn

NGS 140 Mountain Brook Dr
Canton, GA 30115
p 888.995.4263
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REQUEST FOR ARCHITECTURAL REVIEW BOARD

The ARB reviews projects after conceptual review has been made by staff and the Plan Commission. The ARB determines if the project meets the Village of Sussex Design Standards established to ensure high quality buildings. A copy of the Design Standards can be found on our Village website www.villagesussex.org. The ARB makes a recommendation to the Plan Commission of its findings.

The fee for the project review is \$125.00 check made payable to the Village of Sussex. (All fees are non-refundable).

ARB meetings are held on the first Wednesday of the month at 10:00 a.m. at the 2nd floor Committee Room at the Sussex Civic Center.

SUBMITTAL REQUIREMENTS:

The following must be submitted 10 business days prior to the meeting date:

For new construction

1 full set of plans with Plan Commission requested revisions*. (Refer to the Site Plan Review Checklist) 6 reduced copies.

Miscellaneous projects:

6 copies of project to be reviewed preferred size 11x17 in color. (Building elevations, site plan, lighting plan, landscape plan and sign plan).

Project Name Dollar Tree

Location W249N5267 Executive Dr. Sussex, WI 53089

Contact person for meeting and minutes: Sarah Goeke, Access Permits

E-mail address: sarah@accesspermits.com Phone #: 815-541-7995

Please bring to the meeting building material samples and display boards.

Village contact:

Gabe Gilbertson
 Community Development Director
 (262)246-5215 ggilbertson@villagesussex.org

PD 3/18/24
 No. 22453
 gg

*Staff will review and may make additional requests for changes and require new plans submitted prior to deadline date.



N2533 Van Matre Lane
Monroe, WI 53566

March 14, 2024

Re: Project: Dollar Tree
Location: W249N5267 Executive Dr
Sussex, WI

Please find an application and payment for Architectural Review Board review of window film placement for a Dollar Tree retail store, location noted above.

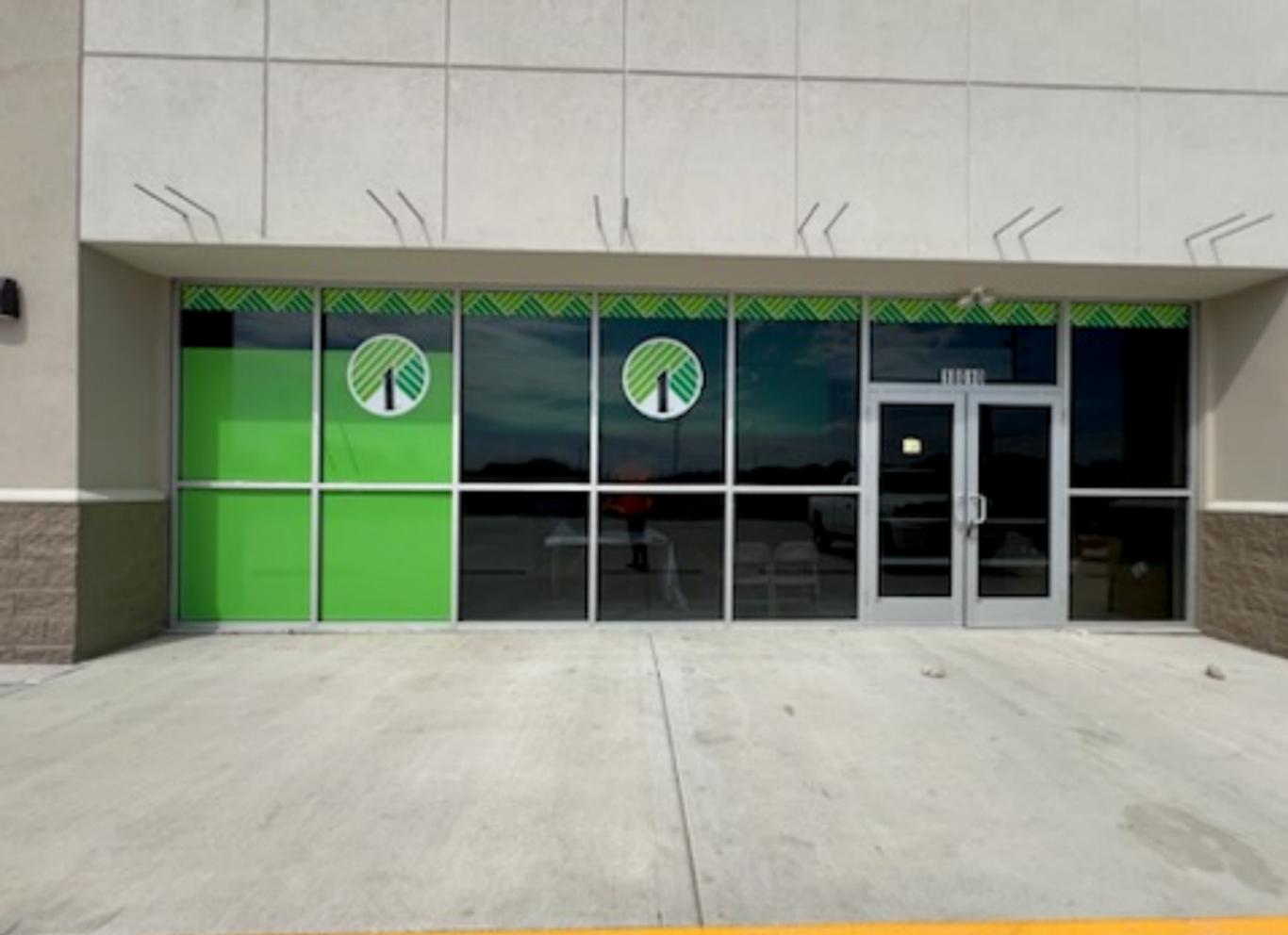
Please let me know directly if any other fees are assessed and if you require any additional information or revisions to complete the review as I will be in updating the Project Management team throughout the process.

Best,

Sarah Goeke

Permit Consultant
C: 815.541.7995
sarah@accesspermits.com







RESERVED
PARKING

V.A.S. ACCESSIBLE
AVAILABLE DURING THE
HOURS





DOLLAR TREE



ONSITE CIVIL ENGINEERING INFRASTRUCTURE PLANS

FOR

MR. D CAR WASH

N65 W24838 MAIN ST (STH 164) SUSSEX, WI

PLANS PREPARED FOR

MR. D CARWASH

THESE PLANS AND DESIGN ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC

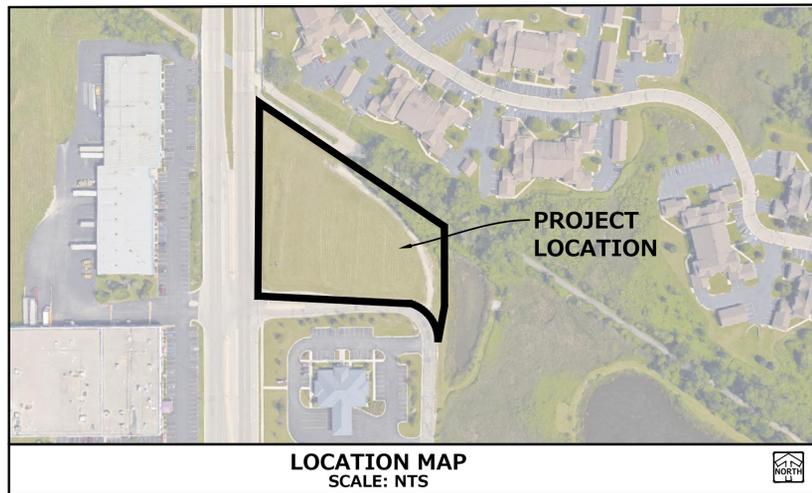
www.pinnacle-engr.com

ABBREVIATIONS

BL	BASE LINE	NWL	NORMAL WATER LEVEL
C & G	CURB AND GUTTER	PC	POINT OF CURVATURE
CB	CATCH BASIN	PT	POINT OF TANGENCY
CL	CENTERLINE	PVI	POINT OF VERTICAL INTERSECTION
CP	DEGREE OF CURVE	R	RADIUS
EP	EDGE OF PAVEMENT	ROW	RIGHT-OF-WAY
FF	FINISHED FLOOR	SAN	SANITARY SEWER
FG	FINISHED GRADE	ST	STORM SEWER
FL	FLOW LINE	T	TANGENCY OF CURVE
FP	FLOODPLAIN	TB	TOP OF BANK
FR	FRAME	TC	TOP OF CURB
FW	FLOODWAY	TF	TOP OF FOUNDATION
HWL	HIGH WATER LEVEL	TP	TOP OF PIPE
INV	INVERT	TS	TOP OF SIDEWALK
MH	LENGTH OF CURVE	TW	TOP OF WALK
	MANHOLE	WM	WATER MAIN
		Δ	INTERSECTION ANGLE

LEGEND

	EXISTING	PROPOSED
SANITARY SEWER MANHOLE	⊙	⊙
STORM SEWER MANHOLE	⊙	⊙
STORM SEWER CATCH BASIN (ROUND CASTING)	⊙	●
STORM SEWER CATCH BASIN (RECTANGULAR CASTING)	□	■
PRECAST FLARED END SECTION	□	▲
CONCRETE HEADWALL	∩	∩
VALVE BOX	⊗	⊗
FIRE HYDRANT	⊗	⊗
CLEANOUT	⊗	⊗
SANITARY SEWER	—	—
FORCE MAIN	—	—
STORM SEWER	—	—
DRAIN TILE	—	—
WATER MAIN	—	—
FIRE PROTECTION	—	—
ELECTRICAL CABLE	—	—
OVERHEAD WIRES	—	—
GAS MAIN	—	—
TELEPHONE LINE	—	—
UTILITY CROSSING	—	—
CAUTION EXISTING UTILITIES NEARBY	⚠	⚠
GRANULAR TRENCH BACKFILL	▨	▨
LIGHTING	⊙	⊙
ELECTRICAL TRANSFORMER OR PEDESTAL	⊙	⊙
POWER POLE	⊙	⊙
POWER POLE WITH LIGHT	⊙	⊙
GUY WIRE	⊙	⊙
STREET SIGN	⊙	⊙
CONTOUR	749	749
SPOT ELEVATION	×(750.00)	◆750.00
WETLANDS	▨	▨
PRIMARY ENVIRONMENTAL CORRIDOR	▨	▨
FLOODWAY	—	—
FLOODPLAIN	—	—
HIGH WATER LEVEL (HWL)	—	—
NORMAL WATER LEVEL (NWL)	—	—
DIRECTION OF SURFACE FLOW	→	→
DITCH OR SWALE	→	→
DIVERSION SWALE	→	→
OVERFLOW RELIEF ROUTING	→	→
TREE WITH TRUNK SIZE	⊙	⊙
SOIL BORING	⊙	⊙
TOPSOIL PROBE	⊙	⊙
FENCE LINE, TEMPORARY SILT	—	—
FENCE LINE, WIRE	—	—
FENCE LINE, CHAIN LINK OR IRON	—	—
FENCE LINE, WOOD OR PLASTIC	—	—
CONCRETE SIDEWALK	—	—
CURB AND GUTTER	—	—
DEPRESSED CURB	—	—
REVERSE PITCH CURB & GUTTER	—	—
EASEMENT LINE	—	—



LOCATION MAP
SCALE: NTS

BENCHMARKS

SITE BENCHMARKS:
BENCHMARK = NW UPPER FLANGE BOLT HYDRANT
THE STATION IS LOCATED AT THE EAST SIDE OF STATE TRUNK HIGHWAY 164, HALFWAY BETWEEN THE INTERSECTION WITH BUGLINE RECREATIONAL TRAIL AND THE INTERSECTION WITH THE PRIVATE DRIVE SOUTH OF THE SITE.
DATUM: NAVD88
ELEVATION: 951.96

CONTACTS:

CIVIL ENGINEER:
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20725 W. WATERTOWN ROAD SUITE 100
BROOKFIELD, WI 53186
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SURVEYOR:
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INDEX OF SHEETS

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GENERAL NOTES

- THE INTENTION OF THE PLANS AND SPECIFICATIONS IS TO SET FORTH PERFORMANCE AND CONSTRUCTION MATERIAL STANDARDS FOR THE PROPER EXECUTION OF WORK. ALL WORKS CONTAINED WITHIN THE PLANS AND SPECIFICATIONS SHALL BE COMPLETED IN ACCORDANCE WITH ALL REQUIREMENTS FROM LOCAL, STATE, FEDERAL OR OTHER GOVERNING AGENCY'S LAWS, REGULATIONS, JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., AND THE OWNER'S DIRECTION.
- A GEOTECHNICAL REPORT HAS NOT YET BEEN PREPARED FOR THIS PROJECT. THE DATA ON SUB-SURFACE SOIL CONDITIONS IS NOT INTENDED AS A REPRESENTATION OR WARRANTY OF THE CONTINUITY OF SUCH CONDITIONS BETWEEN BORINGS OR INDICATED SAMPLING LOCATIONS. IT SHALL BE EXPRESSLY UNDERSTOOD THAT OWNER WILL NOT BE RESPONSIBLE FOR ANY INTERPRETATIONS OR CONCLUSIONS DRAWN THERE FROM BY THE CONTRACTOR. DATA IS MADE AVAILABLE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ANY ADDITIONAL SOILS INVESTIGATIONS THEY FEEL IS NECESSARY FOR THE PROPER EVALUATION OF THE SITE FOR PURPOSES OF PLANNING, BIDDING, OR CONSTRUCTING THE PROJECT AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE TO REVIEW AND UNDERSTAND ALL COMPONENTS OF THE PLANS AND SPECIFICATIONS, INCLUDING FIELD VERIFYING SOIL CONDITIONS, PRIOR TO SUBMISSION OF A BID PROPOSAL.
- THE CONTRACTOR SHALL PROMPTLY REPORT ANY ERRORS OR AMBIGUITIES LEARNED AS PART OF THEIR REVIEW OF PLANS, SPECIFICATIONS, REPORTS AND FIELD INVESTIGATIONS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE COMPUTATION OF QUANTITIES AND WORK REQUIRED TO COMPLETE THIS PROJECT. THE CONTRACTOR'S BID SHALL BE BASED ON ITS OWN COMPUTATIONS AND IN NO SUCH INSTANCE RELY ON THE ENGINEER'S ESTIMATE.
- QUESTIONS/CLARIFICATIONS WILL BE INTERPRETED BY ENGINEER/OWNER PRIOR TO THE AWARD OF CONTRACT. ENGINEER/OWNER WILL SUBMIT OFFICIAL RESPONSES IN WRITING. INTERPRETATIONS PRESENTED IN OFFICIAL RESPONSES SHALL BE BINDING ON ALL PARTIES ASSOCIATED WITH THE CONTRACT. IN NO WAY SHALL WORD-OF-MOUTH DIALOG CONSTITUTE AN OFFICIAL RESPONSE.
- PRIOR TO START OF WORK, CONTRACTOR SHALL BE COMPLETELY FAMILIAR WITH ALL CONDITIONS OF THE SITE, AND SHALL ACCOUNT FOR CONDITIONS THAT AFFECT, OR MAY AFFECT CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LIMITATIONS OF WORK ACCESS, SPACE LIMITATIONS, OVERHEAD OBSTRUCTIONS, TRAFFIC PATTERNS, LOCAL REQUIREMENTS, ADJACENT ACTIVITIES, ETC. FAILURE TO CONSIDER SITE CONDITIONS SHALL NOT BE CAUSE FOR CLAIM OF JOB EXTRAS.
- COMMENCEMENT OF CONSTRUCTION SHALL EXPLICITLY CONFIRM THAT THE CONTRACTOR HAS REVIEWED THE PLANS AND SPECIFICATIONS IN ENTIRETY AND CERTIFIES THAT THEIR SUBMITTED BID PROPOSAL CONTAINS PROVISIONS TO COMPLETE THE PROJECT, WITH THE EXCEPTION OF UNFORESEEN FIELD CONDITIONS. ALL APPLICABLE PERMITS HAVE BEEN OBTAINED, AND CONTRACTOR UNDERSTANDS ALL OF THE REQUIREMENTS OF THE PROJECT.
- SHOULD ANY DISCREPANCIES OR CONFLICTS IN THE PLANS OR SPECIFICATIONS BE DISCOVERED AFTER THE AWARD OF CONTRACT, ENGINEER SHALL BE NOTIFIED IN WRITING IMMEDIATELY AND CONSTRUCTION OF ITEMS AFFECTED BY THE DISCREPANCIES/CONFLICTS SHALL NOT COMMENCE, OR CONTINUE, UNTIL A WRITTEN RESPONSE FROM ENGINEER/OWNER IS DISTRIBUTED. IN THE EVENT OF A CONFLICT BETWEEN REFERENCED CODES, STANDARDS, SPECIFICATIONS AND PLANS, THE ONE ESTABLISHING THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED.
- THE CONTRACTOR SHALL, AT ITS OWN EXPENSE, OBTAIN ALL NECESSARY PERMITS AND LICENSES TO COMPLETE THE PROJECT. OBTAINING PERMITS, OR DELAYS, IS NOT CAUSE FOR DELAY OF THE CONTRACT OR SCHEDULE. CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS.
- THE CONTRACTOR SHALL NOTIFY ALL INTERESTED GOVERNING AGENCIES, UTILITY COMPANIES AFFECTED BY THIS CONSTRUCTION PROJECT, AND GOPHER STATE 811 ONE CALL IN ADVANCE OF CONSTRUCTION TO COMPLY WITH ALL JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., PERMIT STIPULATIONS, AND OTHER APPLICABLE STANDARDS.
- SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO INITIATE, INSTITUTE, ENFORCE, MAINTAIN, AND SUPERVISE ALL SAFETY PRECAUTIONS AND JOB SITE SAFETY PROGRAMS IN CONNECTION WITH THE WORK.
- CONTRACTOR SHALL KEEP THE JOBSITE CLEAN AND ORDERLY AT ALL TIMES. ALL LOCATIONS OF THE SITE SHALL BE KEPT IN A WORKING MANNER SUCH THAT DEBRIS IS REMOVED CONTINUOUSLY AND ALL RESPECTIVE CONTRACTORS OPERATE UNDER GENERAL "GOOD HOUSEKEEPING".
- THE CONTRACTOR SHALL INDEMNIFY THE OWNER, ENGINEER, AND THEIR AGENTS FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.



Toll Free (800) 242-8511
Milwaukee Area (414) 259-1181
Hearing Impaired TDD (800) 542-2289
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FURTHERMORE, PINNACLE ENGINEERING GROUP, LLC IS NOT RESPONSIBLE FOR CONSTRUCTION SAFETY OR THE MEANS AND METHODS OF CONSTRUCTION.

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PINNACLE ENGINEERING GROUP
ENGINEERING | NATURAL RESOURCES | SURVEYING

WISCONSIN OFFICE:
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BROOKFIELD, WI 53186
(262) 754-8888
CHICAGO | MILWAUKEE | NATIONWIDE

MR. D CAR WASH

COVER SHEET

N65 W24838 MAIN ST (STH 164) SUSSEX, WI

REVISIONS

NO.	DATE	DESCRIPTION

PEG JOB NO: 3005.00-WI
PEG PM: MAC
START DATE: 08/20/23
SCALE: N.T.S.

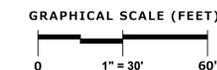
SHEET
C-1
OF
C-9

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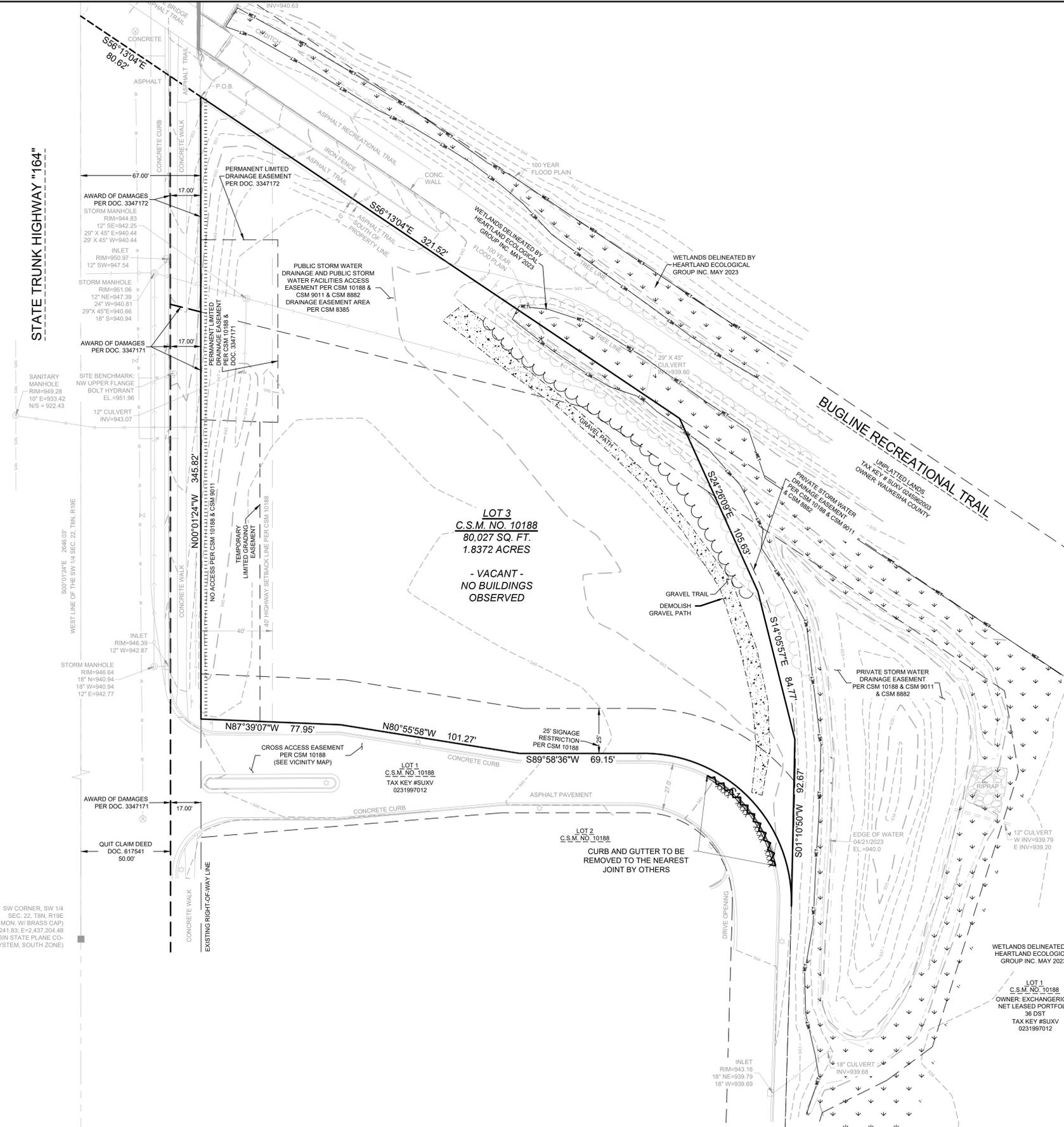
THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED, IN WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC.

REVIEWED:

DESIGNED: RCH



STATE TRUNK HIGHWAY "164"



EXISTING CONDITIONS SURVEY:

EXISTING CONDITIONS SURVEY PROVIDED BY PINNACLE ENGINEERING GROUP. ALTHOUGH PEG HAS NO REASON TO BELIEVE THE SURVEY IS INACCURATE, PEG MAKES NO WARRANTIES THAT EXISTING INFORMATION CONTAINED WITHIN THESE PLANS IS ALL-INCLUSIVE OR ACCURATE. CONTRACTOR SHALL UNDERTAKE NECESSARY EFFORTS TO VERIFY THE EXISTING CONDITIONS PRIOR TO THE START OF MATERIAL PROCUREMENT AND CONSTRUCTION EFFORTS/ACTIVITIES.

CONTRACTOR RESPONSIBILITY:

THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. IF ADDITIONAL UTILITIES ARE KNOWN TO EXIST IN THE PROPERTY, THE OWNER WILL PROVIDE EXISTING PLANS OF OTHER UTILITIES SERVING THE SITE AND THE BUILDING THAT OTHERWISE CANNOT BE LOCATED BY A VISUAL OBSERVATION OF THE PROPERTY OR OF WHICH THE SURVEYOR WOULD HAVE NO KNOWLEDGE.

- DEMOLITION & CLEARING**
- CONTRACTOR WILL BE RESPONSIBLE FOR ENSURING THAT THE APPROPRIATE GOVERNMENTAL ENTITIES ARE NOTIFIED OF THE WORK AND NECESSARY PERMITS ARE OBTAINED.
 - CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ITEMS/DEBRIS, CLASSIFICATION, AND PROPER DISPOSAL (E.G. - ARRANGE FOR ADEQUATE COLLECTION, AND TRANSPORTATION TO DELIVER THE RECOVERED MATERIALS TO THE APPROVED RECYCLING CENTER OR PROCESSING FACILITY). CONTRACTOR SHALL MAINTAIN RECORDS ACCESSIBLE TO THE OWNER AND GOVERNMENT ENTITIES.
 - CONDUCT DEMOLITION OPERATIONS AND REMOVE DEBRIS IN MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.
 - CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES DESIGNATED TO REMAIN.
 - PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED FOR SAFETY AND SECURITY.
 - PROVIDE BARRIERS AND APPROPRIATE SIGNS WHERE NECESSARY TO RESTRICT PEDESTRIANS FROM WANDERING INTO CONSTRUCTION AREAS. PROVIDE ACCEPTABLE TEMPORARY SECURITY BARRIERS WHERE PHYSICAL SECURITY OF BUILDINGS OR FENCES IS COMPROMISED DUE TO DEMOLITION WORK.
 - PROVIDE TEMPORARY WEATHER PROTECTION DURING INTERVAL BETWEEN DEMOLITION AND REMOVAL OF EXISTING CONSTRUCTION ON EXTERIOR SURFACES AND INSTALLATION OF NEW CONSTRUCTION TO ENSURE NO WATER LEAKAGE OR DAMAGE OCCURS TO STRUCTURE OR INTERIOR AREAS OF EXISTING BUILDING.
 - ERECT TEMPORARY ENCLOSURES AS NECESSARY TO LIMIT DUST. USE WATER AS NECESSARY TO LAY DUST WHEN CHIPPING, CORING, OR SAWING CONCRETE, MASONRY OR SIMILAR MATERIALS. WATER MUST BE CONTROLLED INSIDE BUILDINGS BY DAMMING, OR OTHER CONTAINMENT METHOD.
 - PROVIDE AND MAINTAIN INTERIOR AND EXTERIOR SHORING, BRACING OR STRUCTURAL SUPPORT TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF STRUCTURES AND ADJACENT FACILITIES THAT ARE NOT PART OF DEMOLITION.
 - PERFORM WORK IN SAFE AND SYSTEMATIC MANNER.
 - WEAR PROPER PERSONAL PROTECTIVE EQUIPMENT AT ALL TIMES.
 - COMPLETELY BACKFILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM UTILITY REMOVAL AND OTHER DEMOLITION WORK WITH CLOSE GRADED AGGREGATE OR COHESIVE STRUCTURAL FILL.
 - REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED.

LEGEND

	REMOVE EXISTING PAVEMENT
	SAW CUT EXISTING PAVEMENT
	REMOVE EXISTING CURB AND GUTTER

REVISIONS

NO.	DATE	DESCRIPTION

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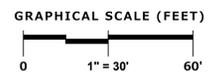
N65 W24838 MAIN ST (STH 164) SUSSEX, WI

EXISTING CONDITIONS & DEMOLITION PLAN

PEG JOB #3005.00-01
MAC
START DATE 08/20/23
SCALE 1" = 30'

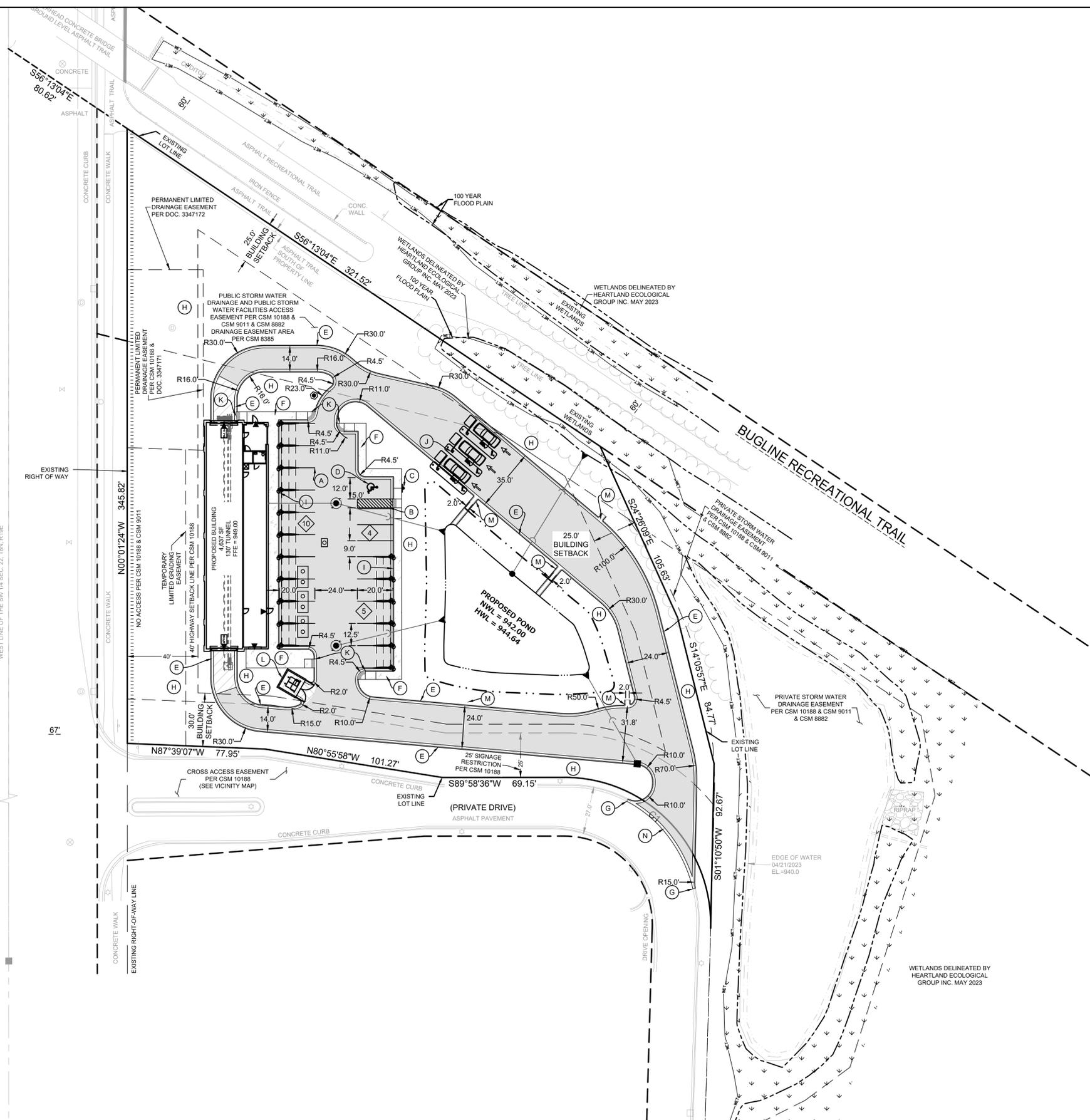
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C-2
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FOR REVIEW ONLY
SITE DIMENSIONAL & PAVING PLAN
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FORMERLY COUNTY TRUNK HIGHWAY 'J'
STATE TRUNK HIGHWAY "164"
(VARIABLE PUBLIC R.O.W.)



NOTES

- ALL DIMENSIONS ARE FACE OF CURB OR FACE OF BUILDING FOUNDATION UNLESS NOTED OTHERWISE. ALL UTILITY DIMENSIONS ARE TO OUTSIDE OF PIPE OR CENTER OF STRUCTURE UNLESS OTHERWISE NOTED. ALL PAVING DIMENSIONS ARE TO FACE OF CURB OR TO EDGE OF PAVEMENT, EXCEPT FOR THE SETBACK FROM PARKING LOTS, MANEUVERING LANES AND FIRE ACCESS LANES, WHERE THE SETBACK IS MEASURED FROM THE BACK OF CURB TO THE PROPERTY LINE.
- ALL PROPOSED CURB AND GUTTER SHALL BE 18" CURB AND GUTTER (SEE DETAIL), UNLESS OTHERWISE NOTED.
- ALL RADII ARE MEASURED TO FACE OF CURB UNLESS NOTED OTHERWISE.
- BUILDING DIMENSIONS AND ADJACENT PARKING AND UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CONTACT DIGGERS HOTLINE (1-800-242-8511) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
- IMPROVEMENTS ADJACENT TO BUILDING IF SHOWN SUCH AS TRUCK DOCK, RETAINING WALLS, SIDEWALKS, CURBING, FENCES, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS, AND TRANSFORMERS, ETC. HAVE BEEN SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, SPECIFICATIONS, AND DETAILS.
- REFER TO ELECTRICAL PLANS FOR LIGHTING LOCATIONS, SPECIFICATIONS, AND DETAILS.
- SEE ADDITIONAL NOTES AND DETAILS ON SITE DIMENSIONAL PLANS AND CONSTRUCTION DETAILS.
- ALL PAVING SHALL CONFORM TO STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION AND APPLICABLE VILLAGE OF SUSSEX SPECIFICATIONS CONTAINED WITHIN THIS PLAN SET.
- CONTRACTOR SHALL CONSULT STRIPING COLOR WITH OWNER PRIOR TO CONSTRUCTION.
- PROVIDE CONTRACTOR GRADE ACRYLIC STRIPING PAINT FOR NEW ASPHALT OR COATED ASPHALT. APPLY MARKING PAINT AT A RATE OF ONE (1) GALLON PER THREE TO FOUR HUNDRED (300-400) LINEAL FEET OF FOUR (4) INCH WIDE STRIPES OR TO MANUFACTURER'S SPECIFICATION, WHICHEVER IS GREATER.
- THOROUGHLY CLEAN SURFACES FREE OF DIRT, SAND, GRAVEL, OIL AND OTHER FOREIGN MATTER. CONTRACTOR RESPONSIBLE TO INSPECT EXISTING PAVEMENT SURFACES FOR CONDITIONS AND DEFECTS THAT WILL ADVERSELY AFFECT QUALITY OF WORK, AND WHICH CANNOT BE PUT INTO AN ACCEPTABLE CONDITION THROUGH NORMAL PREPARATORY WORK AS SPECIFIED.
- DO NOT PLACE MARKING OVER UNSOUND PAVEMENTS. IF THESE CONDITIONS EXIST, NOTIFY OWNER. STARTING INSTALLATION CONSTITUTES CONTRACTOR'S ACCEPTANCE OF SURFACE AS SUITABLE FOR INSTALLATION.
- LAYOUT MARKINGS USING GUIDE LINES, TEMPLATES AND FORMS. STENCILS AND TEMPLATES SHALL BE PROFESSIONALLY MADE TO INDUSTRY STANDARDS. "FREE HAND" PAINTING OF ARROWS, SYMBOLS, OR WORDING SHALL NOT BE ALLOWED. APPLY STRIPES STRAIGHT AND EVEN.
- PROTECT ADJACENT CURBS, WALKS, FENCES, AND OTHER ITEMS FROM RECEIVING PAINT.
- BARRICADE MARKED AREAS DURING INSTALLATION AND UNTIL THE MARKING PAINT IS DRIED AND READY FOR TRAFFIC.
- ASPHALTIC CONCRETE PAVING SPECIFICATIONS-
CODES AND STANDARDS: THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, EDITION OF 2005. HEREINAFTER, THIS PUBLICATION WILL BE REFERRED TO AS THE STATE HIGHWAY SPECIFICATIONS.

WEATHER LIMITATIONS: APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C).

GRADE CONTROL: ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.

CRUSHED AGGREGATE BASE COURSE: THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.

BINDER COURSE AGGREGATE: THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460.2.7 AND 315, STATE HIGHWAY SPECIFICATIONS.

SURFACE COURSE AGGREGATE: THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460.2.7 AND 465, STATE HIGHWAY SPECIFICATIONS.

ASPHALTIC MATERIALS: THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.

CONCRETE MATERIALS: CONCRETE PAVEMENT SHALL CONFORM TO SECTIONS 415, 416, AND 501, STATE HIGHWAY SPECIFICATIONS.

SURFACE PREPARATION: NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.

DOWEL BARS: PLACE AT ALL TRANSVERSE AND LONGITUDINAL JOINTS IN TRUCK LOADING DOCK AREAS AND AT ALL TRANSVERSE JOINTS IN ENTRANCE AREAS/ROADS PER WISDOT 13C01.

TIE BARS: PLACE AT ALL LONGITUDINAL JOINTS IN ENTRANCE AREAS/ROADS PER WISDOT 13C01. PLACE IN CURB AND GUTTER PER WISDOT 8D01.

LEGEND

- FINAL PAVEMENT DESIGN INFORMATION TO BE PROVIDED BY GEOTECHNICAL ENGINEER.**
- LIGHT DUTY PAVEMENT**
 - 8" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LIMESTONE)
 - 3-1/2" ASPHALTIC CONC. (2 LFPS)
 - LOWER LAYER (E-3 TYPE, 19.0 mm NOMINAL SIZE)
 - UPPER LAYER (E-1 MIX, 9.5 mm NOMINAL SIZE)
 - HEAVY DUTY PAVEMENT**
 - 10" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LIMESTONE)
 - 4" ASPHALTIC CONC. (2 LFPS)
 - LOWER LAYER (E-3 TYPE, 19.0 mm NOMINAL SIZE)
 - UPPER LAYER (E-3 TYPE, 12.5 mm NOMINAL SIZE)
 - CONCRETE PAVEMENT**
 - 8" PORTLAND CEMENT CONCRETE
 - 6" COMP. C&G AGGREGATE BASE COURSE, TYPE B
 - CONCRETE SIDEWALK**
 - 6" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LIMESTONE)
 - 5" PCC (6# WELDED WIRE FABRIC PER RACI 315-92)
 - 4" SOLID WHITE STRIPE**
 - 4" DIAGONAL AT 45° SPACED 2' O.C.**
 - R7-8 HANDICAP PARKING SIGN (SEE DETAIL)**
 - ADA STALL INSIGNIA (SEE DETAIL)**
 - 18" CURB & GUTTER (SEE DETAIL)**
 - CONCRETE SIDEWALK (SEE DETAIL)**
 - MATCH EDGE OF PAVEMENT AND CURB & GUTTER**
 - LANDSCAPE AREA**
 - VACUUM EQUIPMENT (SEE ARCHITECTURAL PLANS)**
 - POS EQUIPMENT (SEE ARCHITECTURAL PLANS)**
 - ADA RAMP**
 - TRASH ENCLOSURE (SEE ARCHITECTURAL PLANS)**
 - CONCRETE FLUME**
 - DEPRESSED CURB & GUTTER**
 - PARKING COUNT (FOR INFORMATION ONLY, NOT TO BE PAINTED)**
 - MAN DOOR**
 - OVERHEAD DOOR**

SITE DATA TABLE

TOTAL SITE AREA:	80,026 SF (1.84 AC)
BUILDING SIZE:	4,637 SF
SETBACKS:	HIGHWAY R.O.W. - 40' ROAD R.O.W. - 30' REAR - 25'
PROPOSED PARKING:	4 SPACES (1 ADA)
EXISTING IMPERVIOUS:	0.00 SF (0.00 AC)
PROPOSED IMPERVIOUS:	31,263 SF (0.72 AC)
EXISTING GREENSPACE:	80,026 SF (1.84 AC)
PROPOSED GREENSPACE:	44,479 SF (1.02 AC) 55.8%
ZONING:	B-3 HIGHWAY BUSINESS DISTRICT

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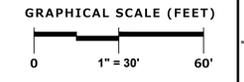
SITE DIMENSIONAL & PAVING PLAN

REVISIONS

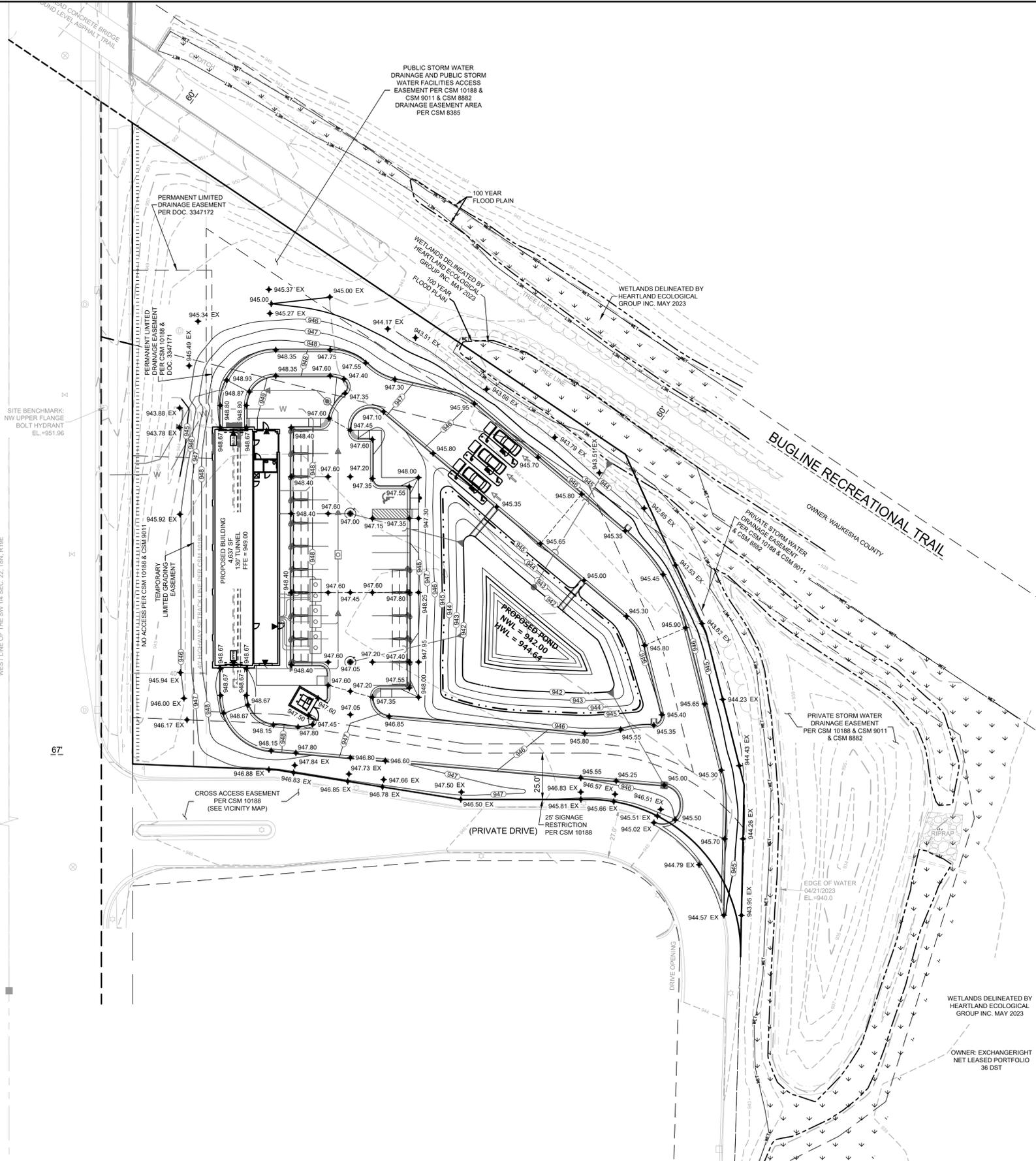
NO.	DATE	DESCRIPTION

REG. JOB NO. 3005.00-WI
MAC
REG. NO. 08/20/23
SCALE 1" = 30'
SHEET C-3 OF C-9
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(FORMERLY COUNTY TRUNK HIGHWAY "J")
STATE TRUNK HIGHWAY "164"
(VARIABLE PUBLIC R.O.W.)



NOTES

- CONTRACTOR SHALL VERIFY ALL GRADES, ENSURE ALL AREAS DRAIN PROPERLY AND REPORT ANY DISCREPANCIES TO PINNACLE ENGINEERING GROUP PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
- ALL EXISTING CONTOURS REPRESENT EXISTING SURFACE GRADES UNLESS OTHERWISE NOTED. ALL PROPOSED GRADES SHOWN ARE FINISH SURFACE GRADES UNLESS OTHERWISE NOTED.
- SPOT ELEVATIONS REPRESENT THE GRADE ALONG THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL EXCAVATIONS AND MATERIAL PLACEMENT SHALL BE COMPLETED TO DESIGN ELEVATIONS AS DEPICTED IN THE PLANS.

CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATION(S) OF ALL GRADING QUANTITIES. WHILE PEG ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARD OF CARE, THEREFORE NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.

THE CONTRACTOR MAY SOLICIT APPROVAL FROM ENGINEER/OWNER TO ADJUST FINAL GRADES FROM DESIGN GRADES TO PROVIDE AN OVERALL SITE BALANCE AS A RESULT OF FIELD CONDITIONS.
- GRADING ACTIVITIES SHALL BE IN A MANNER TO ALLOW POSITIVE DRAINAGE ACROSS DISTURBED SOILS, WHICH MAY INCLUDE EXCAVATION OF TEMPORARY DITCHES TO PREVENT PONDING, AND IF NECESSARY PUMPING TO ALLEVIATE PONDING. CONTRACTOR SHALL PREVENT SURFACE WATER FROM ENTERING INTO EXCAVATIONS. IN NO WAY SHALL OWNER BE RESPONSIBLE FOR REMEDIATION OF UNSUITABLE SOILS CREATED/ORIGINATED AS A RESULT OF IMPROPER SITE GRADING OR SEQUENCING. CONTRACTOR SHALL SEQUENCE GRADING ACTIVITIES TO LIMIT EXPOSURE OF DISTURBED SOILS DUE TO WEATHER.
- THE CONTRACTOR IS RESPONSIBLE FOR MEETING MINIMUM COMPACTION STANDARDS. THE CONTRACTOR SHALL NOTIFY ENGINEER/OWNER IF PROPER COMPACTION CANNOT BE OBTAINED. THE PROJECT'S GEOTECHNICAL CONSULTANT SHALL DETERMINE WHICH IN-SITU SOILS ARE TO BE CONSIDERED UNSUITABLE SOILS. THE ENGINEER/OWNER AND GEOTECHNICAL TESTING CONSULTANT WILL DETERMINE IF REMEDIAL MEASURES WILL BE NECESSARY.
- IN THE EVENT THAT ANY MOISTURE-DENSITY TEST(S) FAIL TO MEET SPECIFICATION REQUIREMENTS, THE CONTRACTOR SHALL PERFORM CORRECTIVE WORK AS NECESSARY TO BRING THE MATERIAL INTO COMPLIANCE AND RETEST THE FAILED AREA AT NO COST TO THE OWNER.
- WITH THE AUTHORIZATION OF THE ENGINEER/OWNER, MATERIAL THAT IS TOO WET TO PERMIT PROPER COMPACTION MAY BE SPREAD ON FILL AREAS IN AN EFFORT TO DRY. CONTRACTOR SHALL CLEARLY FIELD MARK THE EXTERIOR LIMITS OF SPREAD MATERIAL WITH PAINTED LATH AND SUBMIT A PLAN TO THE ENGINEER/OWNER THAT IDENTIFIES THE LIMITS. UNDER NO CONDITION SHALL THE SPREAD MATERIAL DEPTH EXCEED THE MOST RESTRICTIVE OF: THE EFFECTIVE TREATMENT DEPTH OF MACHINERY THAT WILL BE USED TO TURNOVER THE SPREAD MATERIAL; OR THE MAXIMUM COMPACTION LIFT DEPTH.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER/OWNER IF GROUNDWATER IS ENCOUNTERED DURING EXCAVATION.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ADEQUATE AND SAFE TEMPORARY SHORING, BRACING, RETENTION STRUCTURES, AND EXCAVATIONS.
- THE SITE SHALL BE COMPLETED TO WITHIN 0.10-FT (+/-) OF THE PROPOSED GRADES AS INDICATED WITHIN THE PLANS PRIOR TO PLACEMENT OF TOPSOIL OR STONE. CONTRACTOR IS ENCOURAGED TO SEQUENCE CONSTRUCTION SUCH THAT THE SITE IS DIVIDED INTO SMALLER AREAS TO ALLOW STABILIZATION OF DISTURBED SOILS IMMEDIATELY UPON COMPLETION OF INDIVIDUAL SMALLER AREAS.
- CONTRACTOR SHALL CONTACT "DIGGER'S HOTLINE" FOR LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR PROTECTING SAID UTILITIES FROM ANY DAMAGE DURING CONSTRUCTION.
- CONTRACTOR SHALL PROTECT INLETS AND ADJACENT PROPERTIES WITH SILT FENCING OR APPROVED EROSION CONTROL METHODS UNTIL CONSTRUCTION IS COMPLETED. CONTRACTOR SHALL PLACE SILT FENCING AT DOWN SLOPE SIDE OF GRADING LIMITS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING FACILITIES OR UTILITIES. ANY DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.
- WORK WITHIN ANY ROADWAY RIGHT-OF-WAY SHALL BE COORDINATED WITH THE APPROPRIATE MUNICIPAL OFFICIAL PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FEES. GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS. RESTORATION OF RIGHT-OF-WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF GRADING. RESTORATION SHALL INCLUDE ALL ITEMS NECESSARY TO RESTORE RIGHT-OF-WAY IN-KIND INCLUDING LANDSCAPING.
- CONTRACTOR SHALL COMPLY WITH ALL WAUKESHA COUNTY CONSTRUCTION STANDARDS/ORDINANCES.
- LANDSCAPE AND TURF AREAS SHALL HAVE A MINIMUM OF 4-INCH TOPSOIL REPLACEMENT.
- TOPSOIL BERMING SHALL ACHIEVE 90% STANDARD PROCTOR DENSITY AT 3% (+) OPTIMUM MOISTURE CONTENT.
- SURVEY BENCHMARKS AND MAPPING HAS BEEN PROVIDED BY PINNACLE ENGINEERING GROUP. IN NO WAY DOES PEG WARRANT THE BASEMAP IS ALL INCLUSIVE OR REPRESENTATIVE OF ACTUAL CONDITIONS. CONTRACTOR SHALL PROVIDE CHECKS AS NECESSARY TO VERIFY THE BASEMAP CONTENT AND ACCURACY.

LEGEND

	STORM SEWER MANHOLE
	STORM SEWER CATCH BASIN- ROUND CASTING
	STORM SEWER CATCH BASIN- RECTANGULAR CASTING
	PROPOSED CONCRETE FLARED END SECTION
	PROPOSED CONTOUR
	SPOT ELEVATION
	DIRECTION OF SURFACE FLOW
	DITCH OR SWALE
	DIVERSION SWALE
	OVERFLOW RELIEF ROUTING
	CONCRETE SIDEWALK
	CURB AND GUTTER
	DEPRESSED CURB
	REVERSE PITCH CURB & GUTTER
	EP EDGE OF PAVEMENT
	FF FINISHED FLOOR
	TW TOP OF WALK
	YG YARD GRADE

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GRADING PLAN

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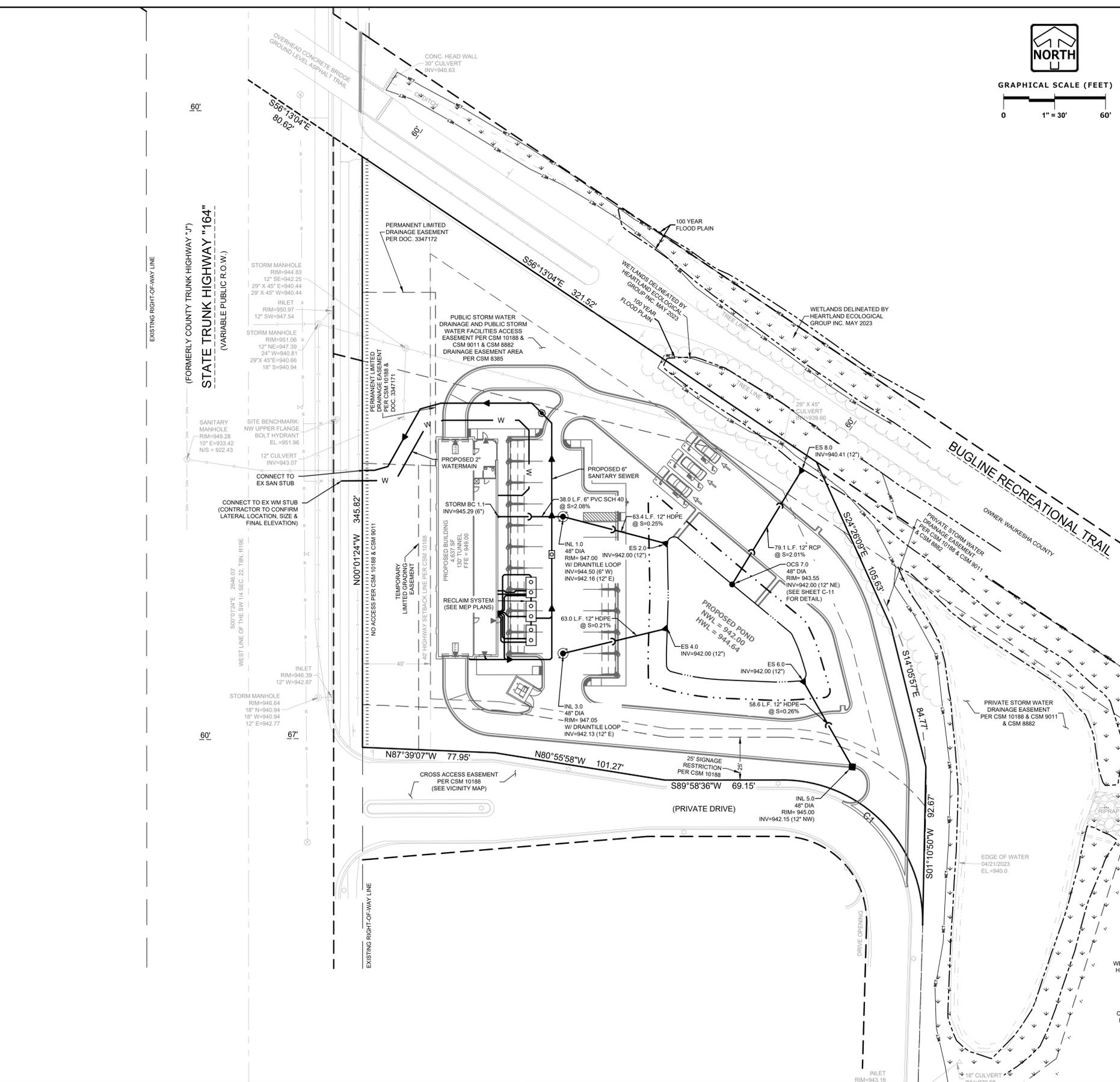
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GRADING PLAN

REVISIONS		SHEET C-4 OF C-9
NO.	DESCRIPTION	

PEG JOB NO: 3005.00-W1
 MAC
 PEG PM
 START DATE: 08/20/23
 SCALE: 1" = 30'
 SHEET C-4 OF C-9
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GRAPHICAL SCALE (FEET)
0 1" = 30' 60'

LEGEND

- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- STORM SEWER CATCH BASIN (ROUND CASTING)
- STORM SEWER CATCH BASIN (RECTANGULAR CASTING)
- ▬ PRECAST CONCRETE FLARED END SECTION
- ▬ CLEANOUT
- ▬ VALVE BOX
- ▬ FIRE HYDRANT
- ▬ SANITARY SEWER
- ▬ FORCE MAIN
- ▬ STORM SEWER
- ▬ DRAIN TILE
- ▬ WATER MAIN
- ▬ FIRE PROTECTION
- ▬ UTILITY CROSSING
- ▬ ELECTRICAL CABLE
- ▬ GAS MAIN
- ▬ TELEPHONE LINE
- ▬ OVERHEAD WIRES
- ▬ LIGHTING
- ▬ ELECTRICAL TRANSFORMER OR PEDESTAL
- ▬ POWER POLE
- ▬ POWER POLE WITH LIGHTS
- ▬ STREET SIGN
- ▬ UTILITY TO BE REMOVED

NOTES

1. EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND/OR TO AVOID DAMAGE THERETO. CONTRACTOR SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
2. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (LATEST EDITION AND ADDENDUM) AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
3. UTILITY CONSTRUCTION AND SPECIFICATIONS SHALL COMPLY WITH THE VILLAGE OF SUSSEX PROVISIONS AND WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES 382.
4. LENGTHS OF PROPOSED UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS ARE SHOWN FOR CONTRACTOR CONVENIENCE ONLY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPUTATIONS OF MATERIALS REQUIRED TO COMPLETE WORK. LENGTHS SHALL BE FIELD VERIFIED DURING CONSTRUCTION.
5. CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT EXISTING UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH FINISHED GRADES OF THE AREAS DISTURBED DURING CONSTRUCTION.
6. CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF PROPOSED UTILITIES AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS PRIOR TO ATTEMPTING CONNECTIONS AND BEGINNING UTILITY CONSTRUCTION AND NOTIFY THE OWNER OF ANY DISCREPANCIES OR CONFLICTS.
7. ALL NEW ON-SITE SANITARY, STORM AND WATER UTILITIES SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER.
8. THE CONTRACTOR SHALL CONTACT THE VILLAGE OF SUSSEX PUBLIC WORKS DEPARTMENT 48-HOURS IN ADVANCE OF SANITARY, WATER AND STORM CONNECTIONS TO THE VILLAGE-OWNED SYSTEM TO SCHEDULE INSPECTIONS.
9. ROUTING OF GAS, ELECTRIC AND TELEPHONE SERVICES ARE SHOWN ON THE ARCHITECTURAL PLANS AND SUBJECT TO CHANGE BASED UPON FINAL REVIEW AND APPROVAL BY RESPECTIVE UTILITY COMPANIES AND OWNER. CONTRACTOR SHALL CONTACT EACH UTILITY COMPANY AND COORDINATE FINAL LOCATIONS FOR ALL UTILITY SERVICES PRIOR TO START OF CONSTRUCTION.
10. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROPER AUTHORITIES FOR ANY REQUIRED PERMITS, AUTHORIZATIONS, TRAFFIC CONTROL AND ANY PERMIT FEES REQUIRED.
11. FIELD TILE CONNECTION - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICES FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.
12. THE CONTRACTOR IS RESPONSIBLE FOR THE SIZE, TYPE AND NUMBER OF WATER MAIN BENDS, HORIZONTAL AND VERTICAL CONNECTIONS, REQUIRED FOR BENDS, HORIZONTAL AND VERTICAL, SHALL BE INCIDENTAL AND INCLUDED IN THE OVERALL COST OF THE CONTRACT.
13. STORM SEWER SPECIFICATIONS -
PIPE - REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS C-76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C-443. STRENGTH CLASSIFICATIONS SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
HEIGHT OF COVER (FEET): 0-2 2-3 3-6 6-15 15-25 25+
MINIMUM CONCRETE PIPE CLASSIFICATION: IV III II III IV ENGINEER TO SPECIFY
HIGH DENSITY DUAL-WALL POLYETHYLENE N-12 CORRUGATED PIPE (HDPE) SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M-294 TYPE "S", OR POLYVINYL CHLORIDE (PVC) - CLASS PS46 MEETING AASHTO M278, AS NOTED. IF HDPE PIPE IS USED FOR POND OUTFALLS, A MINIMUM OF THREE (3) SECTIONS (2 STRAPS) SHALL BE STRAPPED TOGETHER.
INLETS/CATCH BASINS - INLETS/CATCH BASINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NO. 25 OF THE "STANDARD SPECIFICATIONS" WITH A 1'-8" X 2'-6" MAXIMUM OPENING. FRAME & GRATE SHALL BE NEENAH R-1580 WITH TYPE G GRATE, OR EQUAL. CURB FRAME & GRATE SHALL BE NEENAH R-3057, OR EQUAL. THE SUMP DEPTH (VERTICAL DISTANCE FROM THE BASE OF THE STRUCTURE TO OUTFALL INVERT OF THE PIPE) SHALL BE 18" MIN. STRUCTURE SHOP DRAWINGS SHALL BE SUBMITTED TO PINNACLE ENGINEERING GROUP FOR REVIEW AND APPROVAL PRIOR TO MANUFACTURING AND INSTALLATION.
BACKFILL AND BEDDING - STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".
MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.
IF HDPE PIPE IS USED FOR POND OUTFALLS, A MINIMUM OF THREE (3) SECTIONS (2 STRAPS) SHALL BE STRAPPED TOGETHER.
16. WATER MAIN SPECIFICATIONS -
PIPE - WATER MAIN SHALL BE POLYVINYL CHLORIDE (PVC) PIPE MEETING THE REQUIREMENTS OF AWWA STANDARD C-900, CLASS 150, DR-18, WITH CAST IRON O.D. AND INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS. VALVES AND VALVE BOXES - GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 8.27.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.
HYDRANTS - HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE CITY OF RIVER FALLS AND IN ACCORDANCE WITH FILE NO. 38 OF THE "STANDARD SPECIFICATIONS". THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18-INCHES AND NO GREATER THAN 23-INCHES.
BEDDING AND COVER MATERIAL - PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.43.2 OF THE "STANDARD SPECIFICATIONS".
BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".
17. SANITARY SEWER SPECIFICATIONS -
PIPE - SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR-35, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212.
BEDDING AND COVER MATERIAL - BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: "COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8.43.2 (A). BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO INSURE ADEQUATE COMPACTING OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT."
BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".
MANHOLES - MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 15 OF THE "STANDARD SPECIFICATIONS" AND ALL SPECIAL PROVISIONS OF THE VILLAGE OF SUSSEX. STRUCTURE SHOP DRAWINGS SHALL BE SUBMITTED TO PINNACLE ENGINEERING GROUP FOR REVIEW AND APPROVAL PRIOR TO MANUFACTURING AND INSTALLATION.
MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.
18. WATER MAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. INSULATION AND PLACING OF INSULATION SHALL CONFORM TO CHAPTER 4.17.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TY).
19. TRACER WIRE SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THESE CODE SECTIONS AS PER 182.07(15)(2) OF THE STATUTES. THE TRACER WIRE FOR THE SANITARY SEWER LATERAL SHALL BE CONTINUOUS AND SHALL BE EXTENDED ABOVE GRADE VIA A 4-INCH PVC PIPE WITH SCREW-ON CAP ADJACENT TO THE PROPOSED TERMINATION POINT OF THE LATERAL FOR THE PROPOSED BUILDING.
20. SEE UTILITY PLANS AND CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION.

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CHICAGO | MILWAUKEE | NATIONWIDE

MR. D CAR WASH

N65 W24838 MAIN ST (STH 164) SUSSEX, WI

UTILITY PLAN

REVISIONS

REG. JOB NO. 3005.00-WI
MAC
REG. NO. 08/20/23
START DATE
SCALE 1" = 30'

SHEET
C-5
C-9

UTILITY PLAN
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GRAPHICAL SCALE (FEET)

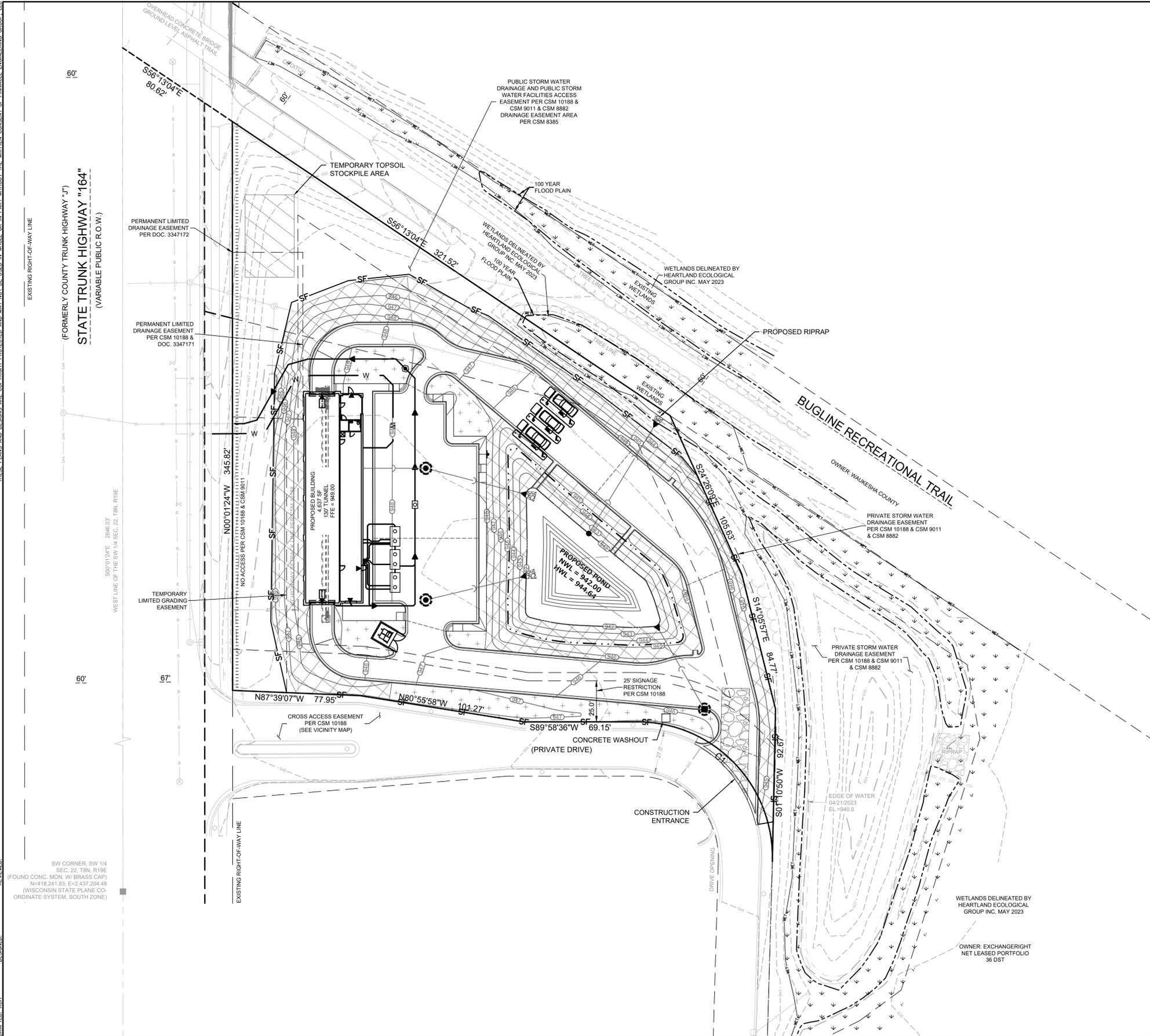
0 1" = 30' 60'

GENERAL EROSION AND SEDIMENT CONTROL NOTES

- ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS SET FORTH IN EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORMWATER GENERAL PERMIT ("WPDES" PERMIT NO. WI-5067831-4) FOR CONSTRUCTION SITE LAND DISTURBANCE ACTIVITIES. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL TECHNICAL STANDARDS AND PROVISIONS IN EFFECT AT THE TIME OF CONSTRUCTION. THESE PROCEDURES AND STANDARDS SHALL BE REFERRED TO AS BEST MANAGEMENT PRACTICES (BMP'S). IT IS THE RESPONSIBILITY OF ALL CONTRACTORS ASSOCIATED WITH THE PROJECT TO OBTAIN A COPY OF, AND UNDERSTAND, THE BMP'S PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.
- THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL CONTROL MEASURES AS DIRECTED BY OWNER/ENGINEER OR GOVERNING AGENCIES SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- MODIFICATIONS TO THE APPROVED SWPPP IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS ARE ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL MODIFICATIONS MUST BE APPROVED BY OWNER/ENGINEER/GOVERNING AGENCY PRIOR TO DEVIATION OF THE APPROVED PLAN.
- INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN IN ORDER TO PROTECT ADJACENT PROPERTIES/STORM SEWER SYSTEMS FROM SEDIMENT TRANSPORT.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. CONTRACTOR IS RESPONSIBLE TO COORDINATE LOCATION(S) WITH THE PROPER AUTHORITIES, PROVIDE NECESSARY FEES AND OBTAIN ALL REQUIRED APPROVALS OR PERMITS. ADDITIONAL CONSTRUCTION ENTRANCES OTHER THAN AS SHOWN ON THE PLANS MUST BE APPROVED BY THE APPLICABLE GOVERNING AGENCIES PRIOR TO INSTALLATION.
- PAVED SURFACES ADJACENT TO CONSTRUCTION ENTRANCES SHALL BE SWEEPED AND/OR SCRAPPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST IMMEDIATELY AND AS REQUESTED BY THE GOVERNING AGENCIES.
- ALL EXISTING STORM SEWER FACILITIES THAT WILL COLLECT RUNOFF FROM DISTURBED AREAS SHALL BE PROTECTED TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS. INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER AND SILT FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS. ALL INLETS, STRUCTURES, PIPES, AND SWALES SHALL BE KEPT CLEAN AND FREE OF SEDIMENTATION AND DEBRIS.
- EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, WATER MAIN, ETC.) OUTSIDE OF THE PERIMETER CONTROLS SHALL INCORPORATE THE FOLLOWING:
 - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - BACKFILL, COMPACT AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH BMP'S PRIOR TO RELEASE INTO STORM SEWER OR DITCHES.
- AT A MINIMUM, SEDIMENT BASINS AND NECESSARY TEMPORARY DRAINAGE PROVISIONS SHALL BE CONSTRUCTED AND OPERATIONAL BEFORE BEGINNING OF SIGNIFICANT MASS GRADING OPERATIONS TO PREVENT OFFSITE DISCHARGE OF UNTREATED RUNOFF.
- ALL WATERCOURSES AND WETLANDS SHALL BE PROTECTED WITH SILT FENCE TO PREVENT ANY DIRECT DISCHARGE FROM DISTURBED SOILS.
- ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR INSPECTION AND REPAIR DURING CONSTRUCTION. THE OWNER WILL BE RESPONSIBLE IF EROSION CONTROL IS REQUIRED AFTER THE CONTRACTOR HAS COMPLETED THE PROJECT.
- TOPSOIL STOCKPILES SHALL HAVE A BERM OR TRENCH AROUND THE CIRCUMFERENCE AND REPAIRED AS NEEDED. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR INSPECTION AND REPAIR DURING CONSTRUCTION. THE OWNER WILL BE RESPONSIBLE IF EROSION CONTROL IS REQUIRED AFTER THE CONTRACTOR HAS COMPLETED THE PROJECT.
- EROSION CONTROL MEASURES TEMPORARILY REMOVED FOR UNAVOIDABLE CONSTRUCTION ACTIVITIES SHALL BE IN WORKING ORDER IMMEDIATELY FOLLOWING COMPLETION OF SUCH ACTIVITIES OR PRIOR TO THE COMPLETION OF EACH WORK DAY, WHICH EVER OCCURS FIRST.
- MAINTAIN SOIL EROSION CONTROL DEVICES THROUGH THE DURATION OF THIS PROJECT. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. DISTURBANCES ASSOCIATED WITH EROSION CONTROL REMOVAL SHALL BE IMMEDIATELY STABILIZED.
- PUMPS MAY BE USED AS BYPASS DEVICES. IN NO CASE SHALL PUMPED WATER BE DIVERTED OUTSIDE THE PROJECT LIMITS. PUMP DISCHARGE SHALL BE DIRECTED INTO AN APPROVED FILTER BAG OR APPROVED SETTLING DEVICE.
- GRADING EFFORTS SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. EROSION AND SEDIMENT CONTROL MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS, AND THE USE OF TEMPORARY OR PERMANENT MEASURES. ALL DISTURBED AREAS THAT WILL NOT BE WORKED FOR A PERIOD OF FOURTEEN (14) DAYS REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH TECHNICAL STANDARDS.
- ALL DISTURBED SLOPES EXCEEDING 4:1, SHALL BE STABILIZED WITH NORTH AMERICAN GREEN 575BN EROSION MATTING (OR APPROVED EQUAL) AND ALL CHANNELS SHALL BE STABILIZED WITH NORTH AMERICAN GREEN C125BN (OR APPROVED EQUAL) OR APPLICATION OF AN APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. EROSION MATTING AND/OR NETTING USED ONSITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES.
- DURING PERIODS OF EXTENDED DRY WEATHER, THE CONTRACTOR SHALL KEEP A WATER TRUCK ON SITE FOR THE PURPOSE OF WATERING DOWN SOILS WHICH MAY OTHERWISE BECOME AIRBORNE. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING WIND EROSION (DUST) DURING CONSTRUCTION AT HIS/HER EXPENSE.
- DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE VISUALLY INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM ON A DAILY BASIS.
- QUALIFIED PERSONNEL (PROVIDED BY THE GENERAL/PRIME CONTRACTOR) SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED AND EROSION AND SEDIMENT CONTROLS WITHIN 24 HOURS OF ALL 0.5-INCH, OR MORE, PRECIPITATION EVENTS WITH A MINIMUM INSPECTION INTERVAL OF ONCE EVERY SEVEN (7) CALENDAR DAYS IN THE ABSENCE OF A QUALIFYING RAIN OR SNOWFALL EVENT. REPORTING SHALL BE IN ACCORDANCE WITH OF THE GENERAL PERMIT. CONTRACTOR SHALL IMMEDIATELY ARRANGE TO HAVE ANY DEFICIENT ITEMS REVEALED DURING INSPECTIONS REPAIRED/REPLACED.
- SEE ADDITIONAL DETAILS AND NOTES ON SITE STABILIZATION AND CONSTRUCTION DETAILS.

LEGEND

- STORM SEWER MANHOLE
- STORM STORM INLET (ROUND CASTING)
- ▣ STORM SEWER INLET (RECTANGULAR CASTING)
- ▤ PRECAST FLARED END SECTION
- PROPOSED CONTOUR
- - - SILT FENCE
- CONCRETE WASHOUT
- INLET PROTECTION
- RIPRAP
- CONSTRUCTION ENTRANCE
- HYDROSEED (PER MANUFACTURER SPECIFICATIONS)
- EROSION CONTROL BLANKET
- TEMPORARY TOPSOIL STOCKPILE AREA



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REVISIONS: _____

DESIGNED: _____

DRAFTED: RICH

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MR. D CAR WASH

EROSION CONTROL PLAN

N65 W24838 MAIN ST (STH 164) SUSSEX, WI

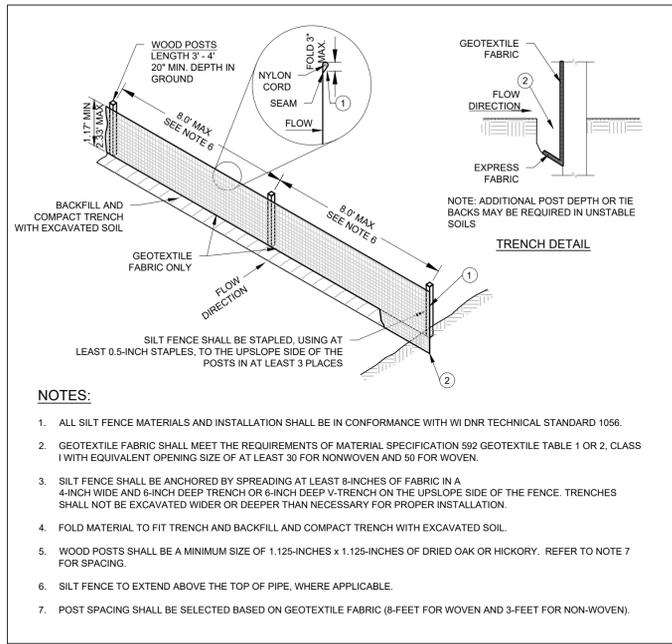
NO.	DATE	DESCRIPTION

REG JOB NO: 3005.00-WI
REG PM: _____
START DATE: 08/20/23
SCALE: 1" = 30'

SHEET
C-6
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C-9

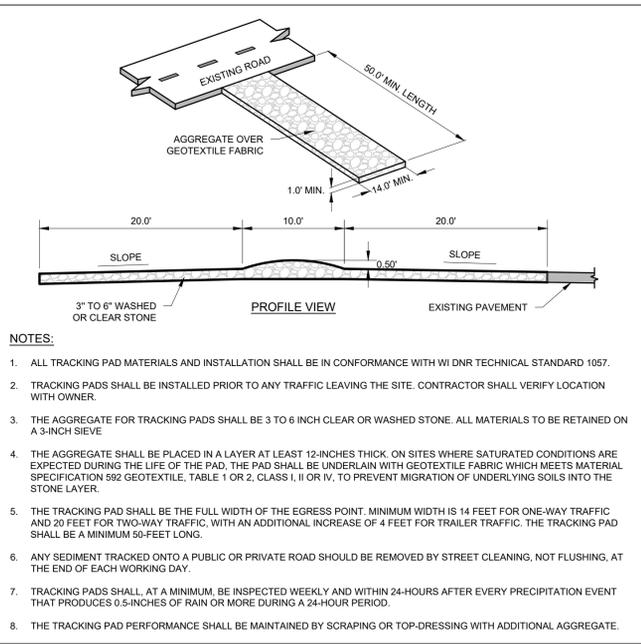
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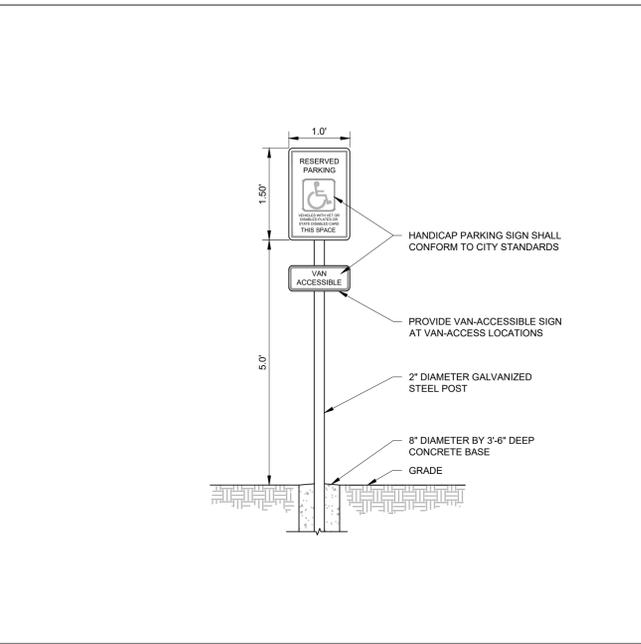
- NOTES:**
1. ALL SILT FENCE MATERIALS AND INSTALLATION SHALL BE IN CONFORMANCE WITH WI DNR TECHNICAL STANDARD 1056.
 2. GEOTEXTILE FABRIC SHALL MEET THE REQUIREMENTS OF MATERIAL SPECIFICATION 592 GEOTEXTILE TABLE 1 OR 2, CLASS I WITH EQUIVALENT OPENING SIZE OF AT LEAST 30 FOR NONWOVEN AND 50 FOR WOVEN.
 3. SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 8-INCHES OF FABRIC IN A 4-INCH WIDE AND 6-INCH DEEP TRENCH OR 6-INCH DEEP V-TRENCH ON THE UPSLOPE SIDE OF THE FENCE. TRENCHES SHALL NOT BE EXCAVATED WIDER OR DEEPER THAN NECESSARY FOR PROPER INSTALLATION.
 4. FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
 5. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1.125-INCHES X 1.125-INCHES X 12-18 INCHES OF DRIED OAK OR HICKORY. REFER TO NOTE 7 FOR SPACING.
 6. SILT FENCE TO EXTEND ABOVE THE TOP OF PIPE, WHERE APPLICABLE.
 7. POST SPACING SHALL BE SELECTED BASED ON GEOTEXTILE FABRIC (8- FEET FOR WOVEN AND 3- FEET FOR NON-WOVEN).

SILT FENCE

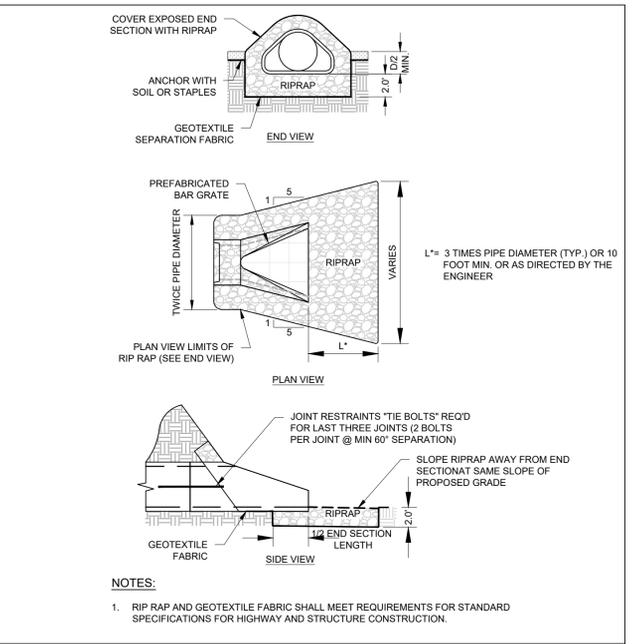


- NOTES:**
1. ALL TRACKING PAD MATERIALS AND INSTALLATION SHALL BE IN CONFORMANCE WITH WI DNR TECHNICAL STANDARD 1057.
 2. TRACKING PADS SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE SITE. CONTRACTOR SHALL VERIFY LOCATION WITH OWNER.
 3. THE AGGREGATE FOR TRACKING PADS SHALL BE 3 TO 6 INCH CLEAR OR WASHED STONE. ALL MATERIALS TO BE RETAINED ON A 3-INCH SIEVE.
 4. THE AGGREGATE SHALL BE PLACED IN A LAYER AT LEAST 12-INCHES THICK. ON SITES WHERE SATURATED CONDITIONS ARE EXPECTED DURING THE LIFE OF THE PAD, THE PAD SHALL BE UNDERLAIN WITH GEOTEXTILE FABRIC WHICH MEETS MATERIAL SPECIFICATION 592 GEOTEXTILE, TABLE 1 OR 2, CLASS I, II OR IV, TO PREVENT MIGRATION OF UNDERLYING SOILS INTO THE STONE LAYER.
 5. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT. MINIMUM WIDTH IS 14 FEET FOR ONE-WAY TRAFFIC AND 20 FEET FOR TWO-WAY TRAFFIC, WITH AN ADDITIONAL INCREASE OF 4 FEET FOR TRAILER TRAFFIC. THE TRACKING PAD SHALL BE A MINIMUM 50- FEET LONG.
 6. ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE ROAD SHOULD BE REMOVED BY STREET CLEANING, NOT FLUSHING, AT THE END OF EACH WORKING DAY.
 7. TRACKING PADS SHALL, AT A MINIMUM, BE INSPECTED WEEKLY AND WITHIN 24-HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5-INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
 8. THE TRACKING PAD PERFORMANCE SHALL BE MAINTAINED BY SCRAPING OR TOP-DRESSING WITH ADDITIONAL AGGREGATE.

CONSTRUCTION ENTRANCE

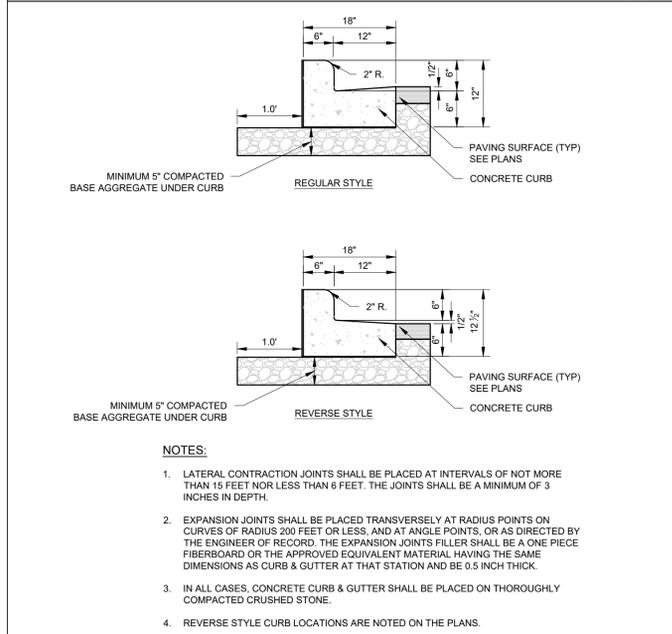


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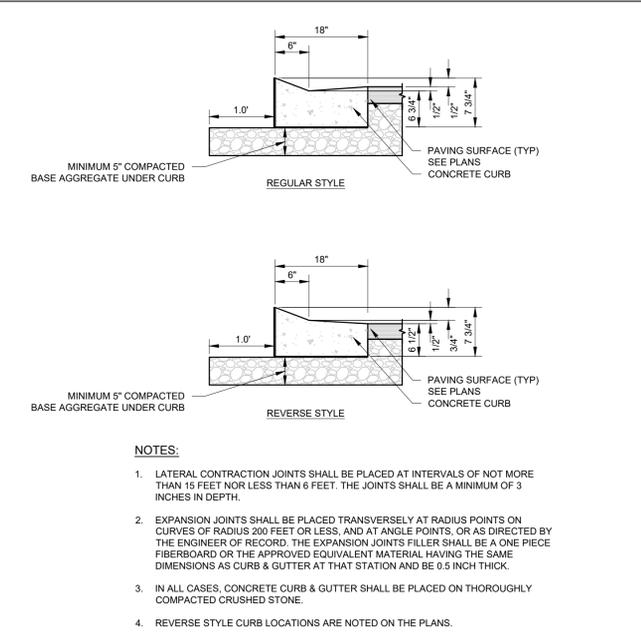
- NOTES:**
1. RIP RAP AND GEOTEXTILE FABRIC SHALL MEET REQUIREMENTS FOR STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.

RIP RAP AT END SECTIONS



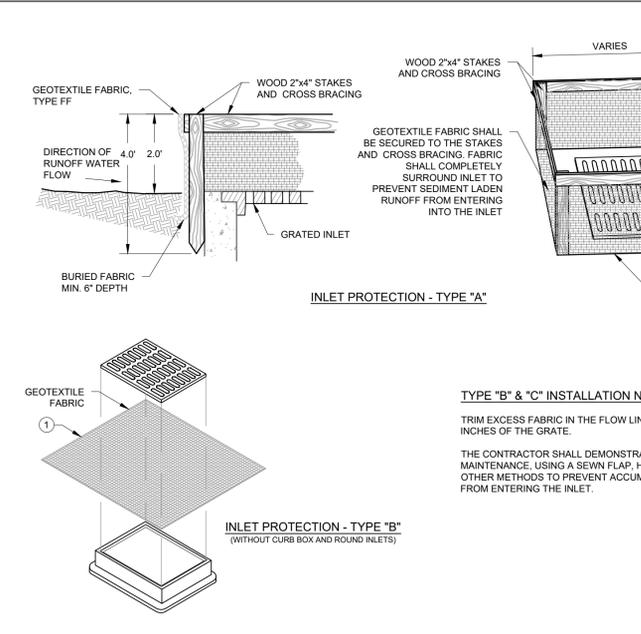
- NOTES:**
1. LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15 FEET NOR LESS THAN 6 FEET. THE JOINTS SHALL BE A MINIMUM OF 3 INCHES IN DEPTH.
 2. EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS 200 FEET OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER OF RECORD. THE EXPANSION JOINTS FILLER SHALL BE A ONE PIECE FIBERBOARD OR THE APPROVED EQUIVALENT MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 0.5 INCH THICK.
 3. IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.
 4. REVERSE STYLE CURB LOCATIONS ARE NOTED ON THE PLANS.

18" VERTICAL FACE CURB



- NOTES:**
1. LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15 FEET NOR LESS THAN 6 FEET. THE JOINTS SHALL BE A MINIMUM OF 3 INCHES IN DEPTH.
 2. EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS 200 FEET OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER OF RECORD. THE EXPANSION JOINTS FILLER SHALL BE A ONE PIECE FIBERBOARD OR THE APPROVED EQUIVALENT MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 0.5 INCH THICK.
 3. IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.
 4. REVERSE STYLE CURB LOCATIONS ARE NOTED ON THE PLANS.

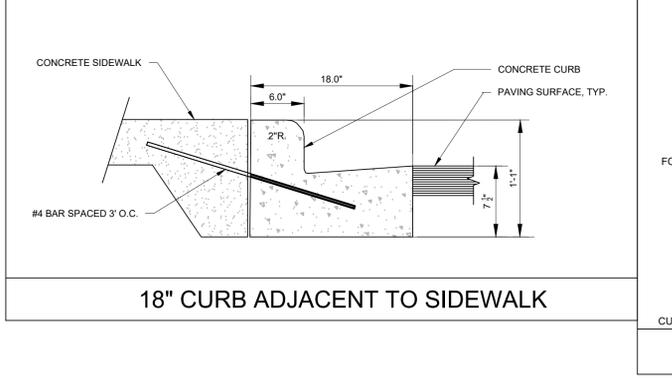
18" DEPRESSED CURB



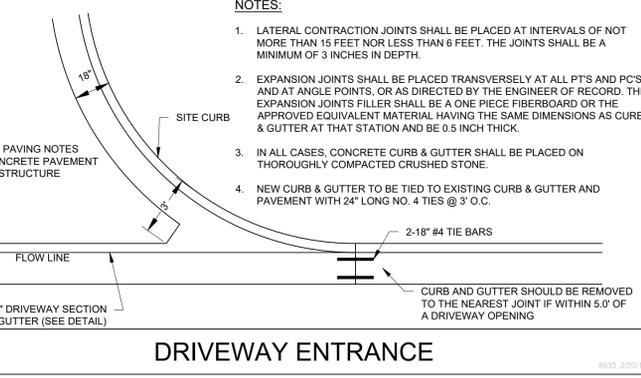
- TYPE "B" & "C" INSTALLATION NOTES**
1. TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3 INCHES OF THE GRATE.
 2. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHODS TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

- NOTES:**
1. GEOTEXTILE FABRIC SHALL MEET THE REQUIREMENTS OF MATERIAL SPECIFICATION 592 GEOTEXTILE TABLE 1 OR 2, CLASS I, WITH AN EOS OF AT LEAST 30 FOR NONWOVEN AND 50 FOR WOVEN.
 2. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
 3. FINISHED SIZE, INCLUDING FLAP POCKET WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10 INCHES AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
 4. FOR INLET PROTECTION, TYPE "C" (WITH CURB BOX), AN ADDITIONAL 18 INCHES OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
 5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2x4.

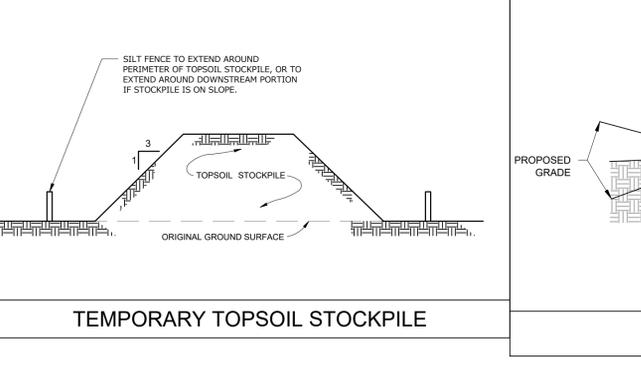
INLET PROTECTION



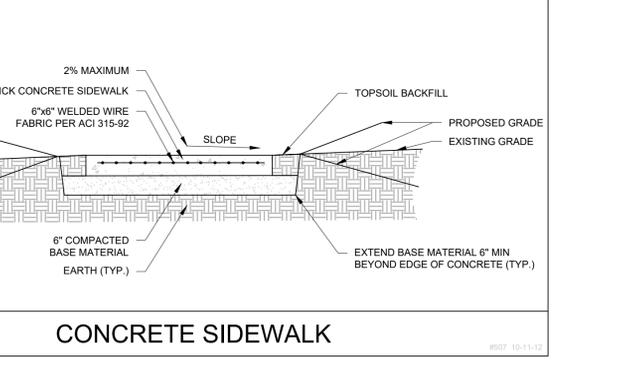
18" CURB ADJACENT TO SIDEWALK



DRIVEWAY ENTRANCE



TEMPORARY TOPSOIL STOCKPILE



CONCRETE SIDEWALK

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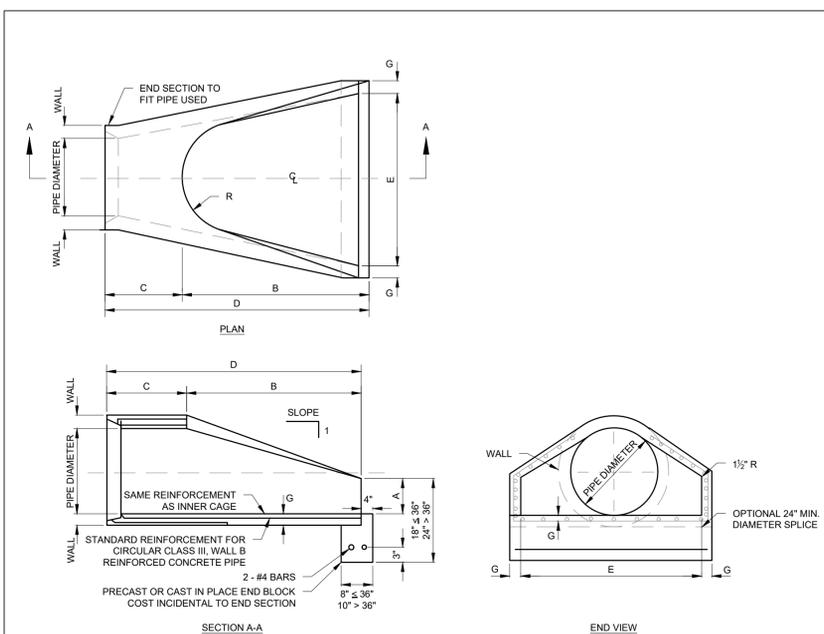
CONSTRUCTION DETAILS

REVISIONS	

SHEET
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 OF
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 PEG JOB NO: 3005.00-W1
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 START DATE: 08/30/23
 SCALE: N.T.S.

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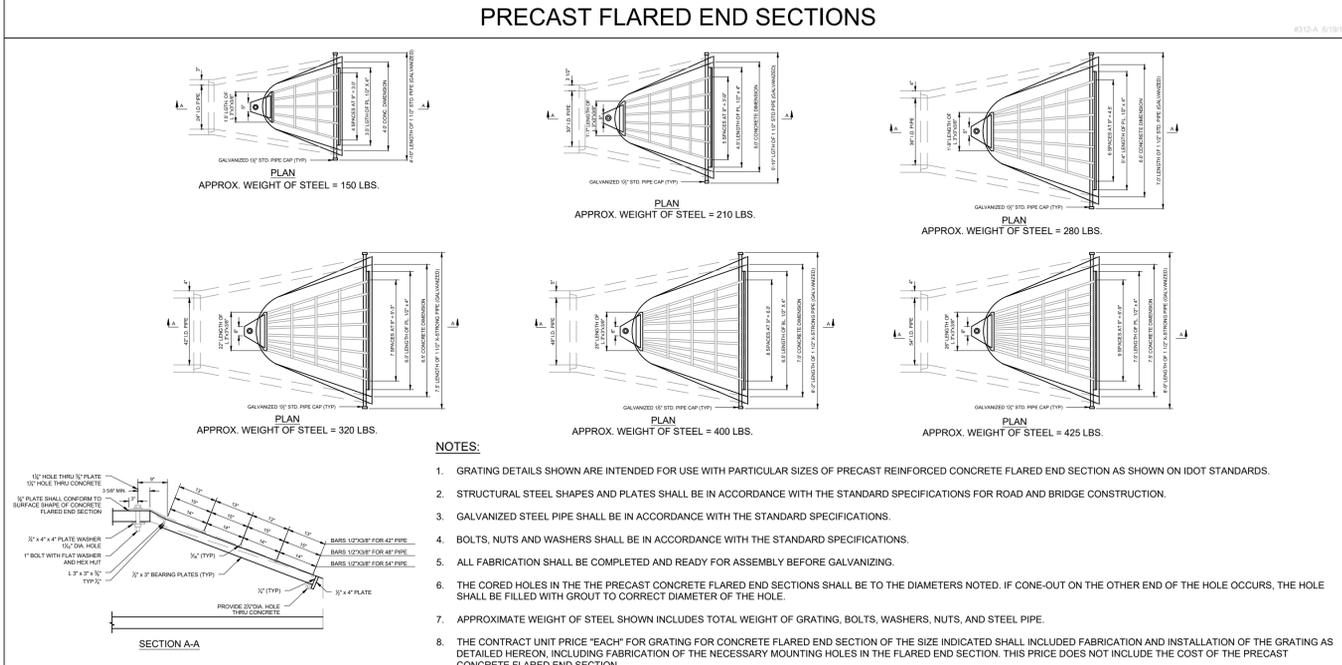
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PRECAST FLARED END SECTIONS

PIPE DIA.	APPROX. QTY. (lbs)	WALL (in)	A (in)	B (in)	C (in)	D (in)	E (in)	G (in)	R (in)	APPROX. SLOPE
12"	530	2	4	24	4'-0 7/8"	6'-0 7/8"	24	2	9	1:2.4
15"	740	2 1/4	6	27	3'-10"	6'-1"	30	2 1/4	11	1:2.4
18"	990	2 1/2	9	27	3'-10"	6'-1"	36	2 1/2	12	1:2.4
21"	1280	2 3/4	9	35	3'-8"	6'-1"	3'-6"	2 3/4	13	1:2.4
24"	1520	3	9 1/2	3'-7 1/2"	30	6'-1 1/2"	4'-0"	3	14	1:2.5
27"	1930	3 1/4	10 1/2	4'-0"	25 1/2	6'-1 1/2"	4'-6"	3 1/4	14 1/2	1:2.4
30"	2190	3 1/2	12	4'-6"	19 3/4	6'-1 3/4"	5'-0"	3 1/2	15	1:2.5
33"	3200	3 3/4	13 1/2	4'-10 1/2"	39 1/4	6'-1 3/4"	5'-6"	3 3/4	17 1/2	1:2.5
36"	4100	4	15	5'-3"	34 3/4	6'-1 3/4"	6'-0"	4	20	1:2.5
42"	5380	4 1/2	21	5'-3"	35	8'-2"	6'-6"	4 1/2	22	1:2.5
48"	6550	5	24	6'-0"	26	8'-2"	7'-0"	5	22	1:2.5
54"	8240	5 1/2	27	5'-5"	35	8'-4"	7'-6"	5 1/2	24	1:2.0
60"	8730	6	35	5'-0"	39	8'-3"	8'-0"	6	22	1:1.9
66"	10710	6 1/2	30	6'-0"	27	8'-3"	8'-6"	5 1/2	22	1:1.7
72"	12620	7	36	6'-6"	21	8'-3"	9'-0"	6	22	1:1.8
78"	14770	7 1/2	36	7'-6"	21	9'-3"	9'-6"	6 1/2	22	1:1.8
84"	18160	8	36	7'-6 1/2"	21	9'-3 1/2"	10'-0"	6 1/2	22	1:1.6

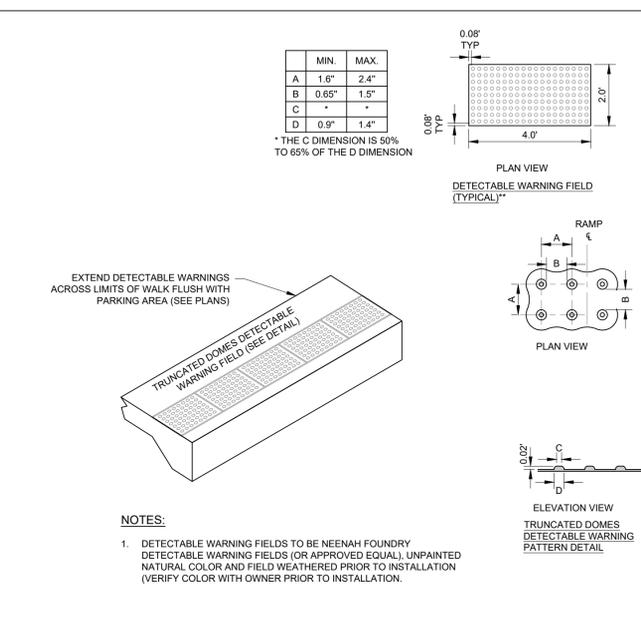
- * RADIUS AS FURNISHED BY MANUFACTURER
- NOTES:**
1. PRECAST CONCRETE FLARED END SECTIONS SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF AASHTO M-170 CLASS 3, WALL B REINFORCED CONCRETE PIPE.
 2. PRECAST CONCRETE FLARED END SECTIONS FOR PIPE DIAMETER REQUIRED SHALL BE AS INDICATED ON DETAIL PLAN FOR EACH INDIVIDUAL INSTALLATION.
 3. THIS ITEM SHALL BE PAID FOR AT THE CONTRACT UNIT PRICE EACH FOR PRECAST CONCRETE FLARED END SECTION OF THE DIAMETER SPECIFIED WHICH PRICE INCLUDES PROVIDING AND INSTALLATION OF EACH END SECTION SPECIFIED.
 4. GRATES, WHERE SPECIFIED, SHALL BE PROVIDED FOR ALL PRECAST REINFORCED CONCRETE FLARED END SECTIONS.



FLARED END SECTION GRATES

- NOTES:**
1. GRATING DETAILS SHOWN ARE INTENDED FOR USE WITH PARTICULAR SIZES OF PRECAST REINFORCED CONCRETE FLARED END SECTION AS SHOWN ON IDOT STANDARDS.
 2. STRUCTURAL STEEL SHAPES AND PLATES SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
 3. GALVANIZED STEEL PIPE SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS.
 4. BOLTS, NUTS AND WASHERS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS.
 5. ALL FABRICATION SHALL BE COMPLETED AND READY FOR ASSEMBLY BEFORE GALVANIZING.
 6. THE CORED HOLES IN THE PRECAST CONCRETE FLARED END SECTIONS SHALL BE TO THE DIAMETERS NOTED. IF CONE-OUT ON THE OTHER END OF THE HOLE OCCURS, THE HOLE SHALL BE FILLED WITH GROUT TO CORRECT DIAMETER OF THE HOLE.
 7. APPROXIMATE WEIGHT OF STEEL SHOWN INCLUDES TOTAL WEIGHT OF GRATING, BOLTS, WASHERS, NUTS, AND STEEL PIPE.
 8. THE CONTRACT UNIT PRICE "EACH" FOR GRATING FOR CONCRETE FLARED END SECTION OF THE SIZE INDICATED SHALL INCLUDE FABRICATION AND INSTALLATION OF THE GRATING AS DETAILED HEREON, INCLUDING FABRICATION OF THE NECESSARY MOUNTING HOLES IN THE FLARED END SECTION. THIS PRICE DOES NOT INCLUDE THE COST OF THE PRECAST CONCRETE FLARED END SECTION.

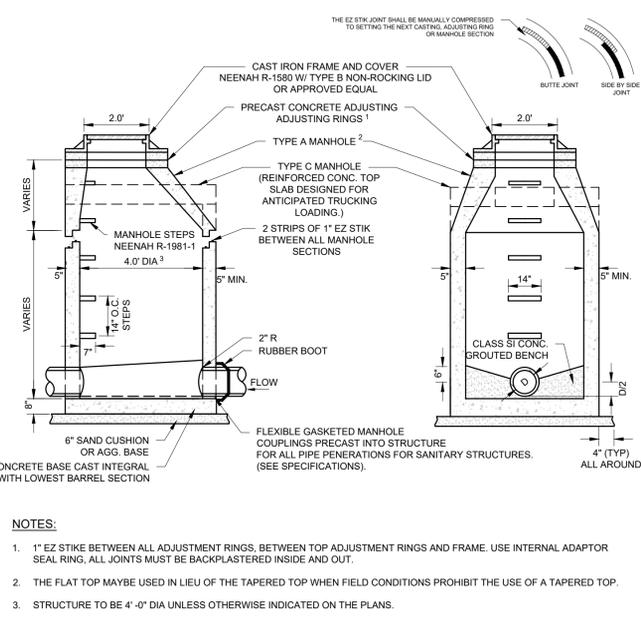
FLARED END SECTION GRATES



DETECTABLE WARNING TRUNCATED DOMES

- NOTES:**
1. DETECTABLE WARNING FIELDS TO BE NEENAH FOUNDRY DETECTABLE WARNING FIELDS (OR APPROVED EQUAL). UNPAINTED NATURAL COLOR AND FIELD WEATHERED PRIOR TO INSTALLATION (VERIFY COLOR WITH OWNER PRIOR TO INSTALLATION).

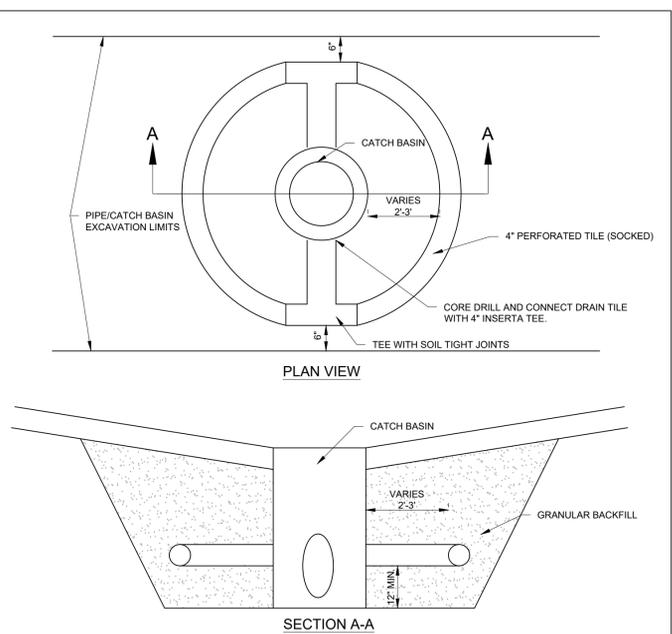
DETECTABLE WARNING TRUNCATED DOMES



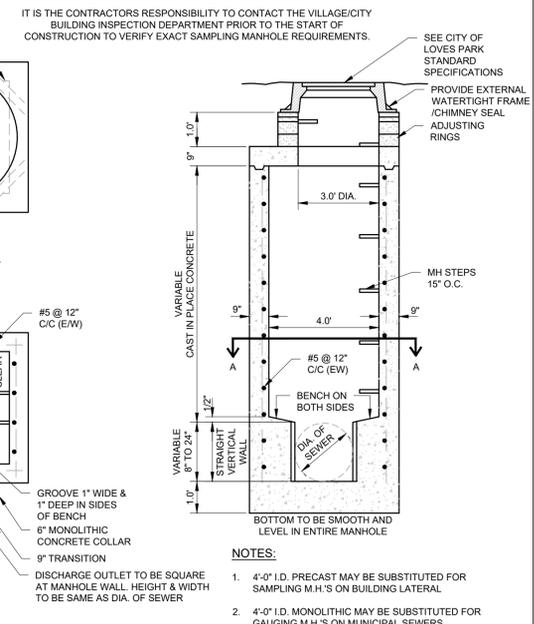
SANITARY MANHOLE

- NOTES:**
1. 1" EZ STIK BETWEEN ALL ADJUSTMENT RINGS. BETWEEN TOP ADJUSTMENT RINGS AND FRAME. USE INTERNAL ADAPTOR SEAL RING. ALL JOINTS MUST BE BACKPLASTERED INSIDE AND OUT.
 2. THE FLAT TOP MAYBE USED IN LIEU OF THE TAPERED TOP WHEN FIELD CONDITIONS PROHIBIT THE USE OF A TAPERED TOP.
 3. STRUCTURE TO BE 4'-0" DIA UNLESS OTHERWISE INDICATED ON THE PLANS.

SANITARY MANHOLE



CATCH BASIN - UNDERDRAIN



SAMPLING AND GAUGING MANHOLE

- NOTES:**
1. 4'-0" I.D. PRECAST MAY BE SUBSTITUTED FOR SAMPLING M.H.'S ON BUILDING LATERAL
 2. 4'-0" I.D. MONOLITHIC MAY BE SUBSTITUTED FOR GAUGING M.H.'S ON MUNICIPAL SEWERS

SAMPLING AND GAUGING MANHOLE

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 PEG JOB NO: 3005.00-W1
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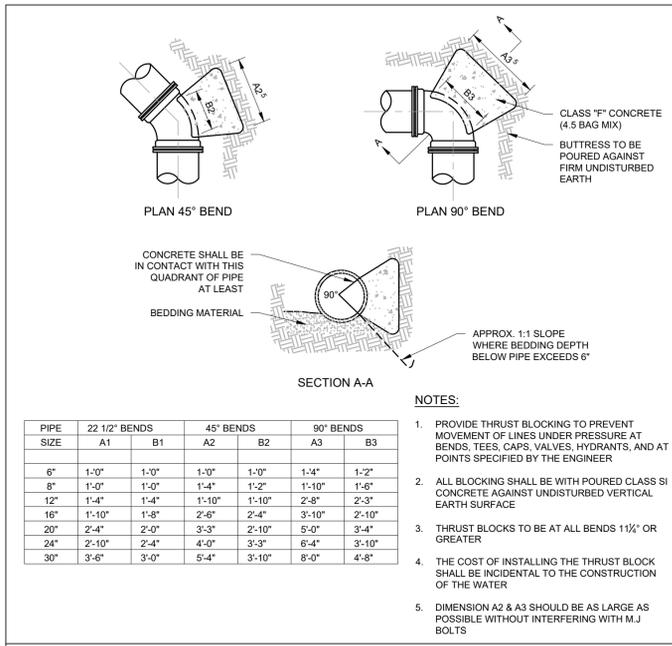
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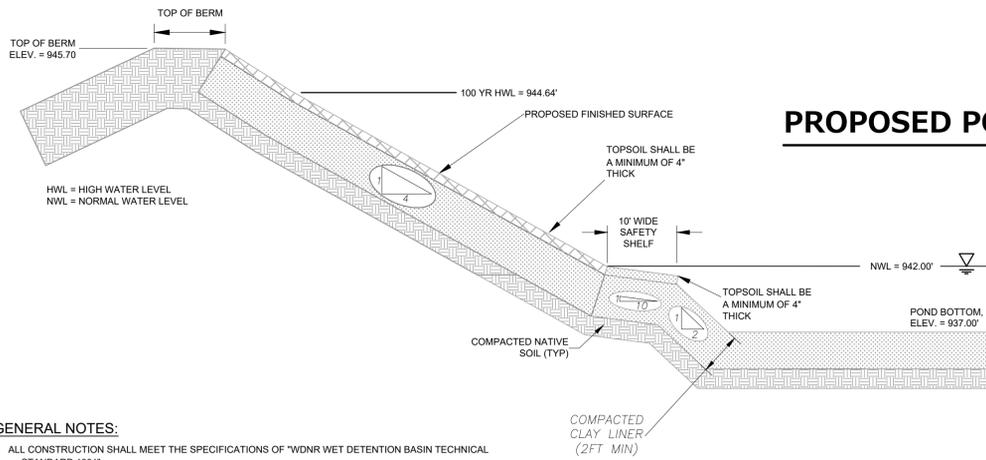
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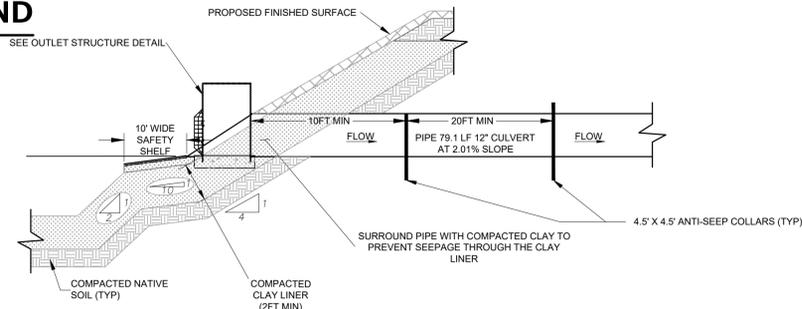


THRUST BLOCK

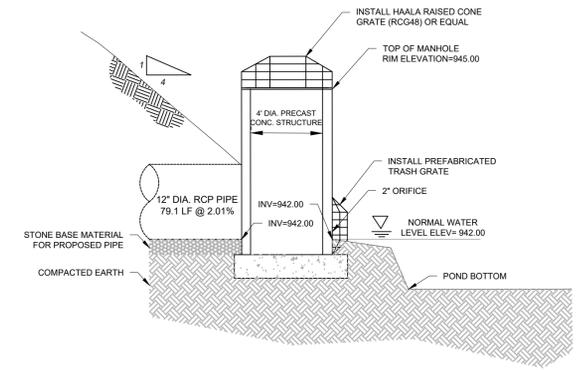
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PROPOSED POND CROSS SECTION
NTS



PROPOSED POND OUTLET PIPE
NTS



GENERAL NOTES:

- ALL CONSTRUCTION SHALL MEET THE SPECIFICATIONS OF "WDNR WET DETENTION BASIN TECHNICAL STANDARD 1001".
- ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH THE STORM WATER MANAGEMENT PLAN FOR THE PROJECT SITE AS APPROVED BY THE REGULATORY ENGINEER OF RECORD.
- RCP PIPING & INSTALLATION WITHIN THE BASIN SHALL BE IN ACCORDANCE WITH (ASTM C-76/C443) WITH RUBBER GASKETS.
- OWNER OR CONTRACTOR MUST CONSULT LANDSCAPE ARCHITECT OR ECOLOGICAL PLANNING AGENCY FOR APPROPRIATE PLANTS AND PLANTING CONFIGURATIONS.
- CLAY LINER SHALL BE A MINIMUM OF 2-FEET THICK. CLAY SHALL BE COMPACTED AT ±2.0% OPTIMAL MOISTURE CONTENT TO 90% MODIFIED PROCTOR. MEDIUM STIFF TO STIFF CLAYS PRESENT IN-PLACE AT THE POND SIDE SLOPES OR OTHER ON-SITE MEDIUM STIFF TO STIFF CLAYS MAY BE USED AT THE DISCRETION OF THE GEOTECHNICAL ENGINEER OF RECORD.
- FOR CONSTRUCTED EMBANKMENTS WHERE THE PERMANENT POOL IS PONDED 3-FEET OR MORE AGAINST THE EMBANKMENT, THERE SHALL BE A CORE TRENCH OR KEYWAY ALONG THE CENTERLINE OF THE EMBANKMENT UP TO THE PERMANENT POOL ELEVATION. THE CORE TRENCH OR KEYWAY SHALL BE A MINIMUM OF 2-FEET DEEP AND 8-FEET WIDE WITH A SIDE SLOPE OF 1:1 OR FLATTER.

NOTES:

- CONTRACTOR SHALL POSITION ANTI-SEEP COLLAR SUCH THAT THE COLLARS ARE COMPLETELY CONTAINED WITHIN EMBANKMENT.
- INSTALL FILTER FABRIC OVER CONSTRUCTION ORIFICE TO PREVENT SEDIMENT DEPOSITION IN THE POND OUTLET PIPE.

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GENERAL PLANTING NOTES

- THE LAYOUT OF ALL PLANTING BEDS AND INDIVIDUAL TREES AND SHRUBS SHALL BE STAKED BY THE CONTRACTOR IN ADVANCE OF INSTALLATION. FLAGGING, STAKES, OR PAINT MAY BE USED TO DELINEATE LOCATIONS AS SCALED FROM THE PLANS. AN APPROVED REPRESENTATIVE WILL REVIEW THESE LOCATIONS WITH THE CONTRACTOR AND MAKE MINOR ADJUSTMENTS AS NECESSARY. BED LAYOUT SHALL ALSO INCLUDE PERENNIAL GROUPINGS BY SPECIES.
- THE CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING THE PLANT MATERIAL QUANTITIES REQUIRED BY THE LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
- NO PLANT MATERIAL OR PLANT SIZE SUBSTITUTIONS WILL BE ACCEPTED WITHOUT APPROVAL BY THE LANDSCAPE ARCHITECT. ANY CHANGES SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT IN WRITING PRIOR TO INSTALLATION.
- ALL BNB STOCK SHALL BE NURSERY GROWN IN A CLAY LOAM SOIL FOR A MINIMUM OF THREE GROWING SEASONS WITHIN 200 MILES OF PROJECT LOCATION, IN A ZONE COMPATIBLE WITH USDA HARDINESS ZONE 5A. SEED SHALL BE PROVIDED FROM A NURSERY (WITHIN 200 MILES) WITH A SIMILAR PLANT HARDINESS ZONE AS PROJECT LOCATION. EXISTING SOIL SHALL BE AMENDED PER SOIL ANALYSIS REPORT TO ENSURE A PROPER GROWING MEDIUM IS ACHIEVED.
- ALL PLANT MATERIAL SHALL COMPLY WITH STANDARDS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK - Z60.1 ANSI. LANDSCAPE ARCHITECT OR OWNERS AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND POTENTIALLY REJECT ANY PLANT MATERIAL DEEMED TO NOT MEET THE REQUIRED STANDARDS.
- ALL STOCK SHALL BE FREE OF DISEASES AND HARMFUL INSECTS, DAMAGE, DISORDERS AND DEFORMITIES.
- TREES SHALL HAVE SINGLE, STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. MULTI-STEM TREES SHALL HAVE 3-4 STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. HEIGHT-TO-CALIPER RATIOS SHALL BE CONSISTENT WITH THE LATEST EDITION OF ANSI Z60.1.
- ROOT SYSTEMS SHALL BE LARGE ENOUGH TO ALLOW FOR FULL RECOVERY OF THE TREE, AND SHALL CONFORM TO STANDARDS AS THEY APPEAR IN THE MOST CURRENT REVISION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1.
- BNB TREES SHALL BE DUG WITH A BALL OF SOIL, NOT SOFT BALLED OR POTTED AND SHALL BE FIRM IN THEIR ROOTBALL. ROOT BALL SHALL BE WRAPPED (WITH BIODEGRADABLE MATERIAL). THE TREE ROOT FLARE, OR COLLAR, SHALL BE AT OR WITHIN THE TOP THREE INCHES OF GRADE.
- ALL SPRING TREES MUST BE FRESHLY DUG IN THE MOST RECENT SPRING.
- ALL AUTUMN TREES MUST BE FRESHLY DUG IN THE MOST RECENT AUTUMN.
- TREES SHALL BE ALIVE, HEALTHY AND APPROPRIATELY MOIST, AT TIME OF DELIVERY. TREES SHALL BE SUBJECT TO INSPECTION FOR CONFORMITY TO SPECIFICATION REQUIREMENTS AND APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE. THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY TREES THAT DO NOT MEET THE SPECIFICATIONS OR THAT HAVE BEEN DAMAGED DURING SHIPMENT. THE LANDSCAPE INSTALLER MUST RECEIVE APPROVAL FROM LANDSCAPE ARCHITECT FOR ANY SUBSTITUTIONS OR ALTERATIONS.
- ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH PLANTING DETAILS.
- ALL PLANTING BEDS SHALL HAVE A MINIMUM 10" DEPTH OF PREPARED SOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 10" OF SOIL. REFER TO SOIL PLACEMENT NOTES.
- WHILE PLANTING TREES AND SHRUBS, BACKFILL 2/3 OF PLANTING HOLE AND WATER TREE THOROUGHLY BEFORE INSTALLING THE REMAINDER OF SOIL MIXTURE. AFTER ALL SOIL HAS BEEN PLACED INTO THE PLANTING HOLE WATER THOROUGHLY AGAIN.
- THE CONTRACTOR MUST LABEL ALL TREES WITH THE COMMON AND BOTANICAL NAMES PRIOR TO FINAL INSPECTION.
- ALL PLANTING BEDS SHALL BE MULCHED WITH 3" DEEP SHREDDED HARDWOOD MULCH, AND ALL TREES PLANTED IN TURF AREAS SHALL RECEIVE A 3" DEEP SHREDDED HARDWOOD MULCHED RING AS SHOWN IN PLANTING DETAILS.
- ALL PLANTING BEDS AND TREE RINGS SHALL HAVE A 4" DEEP TRENCHED BED EDGE CREATED BY EITHER A FLAT LANDSCAPE SPADE OR MECHANICAL EDGER. BED EDGES ARE TO BE CUT CLEAN AND SMOOTH AS SHOWN ON LANDSCAPE PLANS WITH A CLEAN DEFINITION BETWEEN TURF AND PLANTING AREAS.
- ALL TURF SEED AREAS SHALL RECEIVE A MINIMUM OF 6" DEPTH OF TOPSOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 6" OF SOIL AS INDICATED IN THE SOIL PLACEMENT NOTES. REQUIRED AMENDMENTS SHALL BE DETERMINED BASED ON A SOIL ANALYSIS TO BE PERFORMED. ALL TOPSOIL AMENDMENT SHALL BE AGED WEED FREE MANURE OR CLASS 1 ORGANIC MATTER.
- FOR LAWN SEEDING, APPLY A STARTER FERTILIZER AND SEED UNIFORMLY AT THE RATE RECOMMENDED BY MANUFACTURER, AND PROVIDE A MULCH COVERING THAT IS SUITABLE TO PROMOTE SEED GERMINATION AND TURF ESTABLISHMENT. CONTRACTOR TO PROVIDE FERTILIZER, SEED, AND MULCH SPECIFICATIONS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. EROSION CONTROL MEASURES ARE TO BE INSTALLED IN THOSE AREAS REQUIRING STABILIZATION (SWALES, SLOPES EXCEEDING 1:3, AND THOSE LOCATIONS INDICATED IN CIVIL DRAWINGS).
- THE CONTRACTOR TO ENSURE A SMOOTH, UNIFORM QUALITY TURF IS ACHIEVED WITH NO BARE SPOTS LARGER THAN 6" X 6". ANY BARE SPOTS LARGER THAN 6" X 6" AT THE END OF ESTABLISHMENT PERIOD SHALL BE RESEED AT THE CONTRACTORS EXPENSE TO OBTAIN A DENSE, UNIFORM LAWN. .
- ALL FINISH GRADING AND LAWN AREAS TO BE INSTALLED BY LANDSCAPE CONTRACTOR.
- ALL DISTURBED AREAS WITHIN THE PROJECT SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
- ALL DISTURBED AREAS OUTSIDE THE LIMITS OF WORK SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, INCLUDING ANY IRRIGATION LINES, PRIOR TO DIGGING. CONSULT DIGGERS HOTLINE.

- TREES SHALL BE INSTALLED NO CLOSER THAN:
 - 15 FEET FROM ANY FIRE HYDRANT
 - 8 FEET FROM STORM SEWER, SANITARY SEWER LATERALS, AND WATER SERVICE
- THE CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS
- THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, FEES, AND LICENSES NECESSARY FOR THE INSTALLATION OF THIS PLAN.
- THE CONTRACTOR IS TO REVIEW ALL SITE ENGINEERING DOCUMENTS PRIOR TO INSTALLATION. ANY CONFLICTS MUST BE REPORTED TO THE LANDSCAPE ARCHITECT. THESE LANDSCAPE DRAWINGS ARE FOR THE INSTALLATION OF PLANT MATERIALS ONLY UNLESS OTHERWISE STATED.
- THE CONTRACTOR SHALL PROVIDE WATERING AND MAINTENANCE SERVICES FOR A PERIOD OF 60 DAYS TO ENSURE VEGETATIVE ESTABLISHMENT. UPON COMPLETION OF THE PROJECT, CONTRACTOR SHALL SUPPLY THE OWNER IN WRITING WITH ONGOING WATERING AND MAINTENANCE INSTRUCTIONS.
- PLANT MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM TIME OF OWNER ACCEPTANCE. ONLY ONE REPLACEMENT PER PLANT WILL BE REQUIRED DURING THE WARRANTY PERIOD EXCEPT IN THE EVENT OF FAILURE TO COMPLY WITH THE SPECIFIED REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO CONDUCT A FINAL WALK THROUGH WITH THE LANDSCAPE ARCHITECT AND OR OWNERS REPRESENTATIVE TO ANSWER QUESTIONS, PROVIDE INSTRUCTIONS, AND ENSURE THAT PROJECT REQUIREMENTS HAVE BEEN MET.

SOIL PLACEMENT NOTES

- LOOSEN SUBGRADE TO A MINIMUM DEPTH INDICATED IN PLANTING NOTES USING A CULTI-MULCHER OR SIMILAR EQUIPMENT, AND REMOVE STONES MEASURING OVER 1-1/2 INCHES IN ANY DIMENSION, STICKS, RUBBISH AND OTHER EXTRANEIOUS MATTER. AREAS ADJACENT TO WALKS AND PAVEMENT SHALL BE FREE OF EXCESS STONE AND PAVING MATERIALS SO AS TO PROVIDE AN UNINTERRUPTED CROSS SECTION OF SOIL. INTERNAL PARKING ISLANDS SHALL BE LOOSENEED TO A DEPTH OF 30".
- THOROUGHLY BLEND PLANTING SOIL MIX FOR PLANTING BED AREAS. (1 PART EXISTING SOIL, 1 PART TOPSOIL, 1 PART ORGANIC SOIL AMENDMENT, 2.9 POUNDS PER CUBIC YARD OF 4-4-4 ANALYSIS SLOW-RELEASE FERTILIZER)
- TREE AND SHRUB HOLES SHALL BE FILLED WITH A PREPARED PLANTING MIXTURE OF 1 PART TOPSOIL, 2 PARTS PLANTING SOIL MIX.
- SPREAD SOIL AND SOIL AMENDMENTS TO DEPTH INDICATED ON DRAWINGS, BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. (FINISH GRADE OF PLANTING BEDS SHALL BE 3" BELOW ALL ADJACENT SURFACES. FINISH GRADE OF TURF SEEDING AREAS SHALL BE 1" BELOW ALL ADJACENT HARD SURFACES, WALKS, AND CURBS.)
- PLACE APPROXIMATELY 1/2 OF TOTAL AMOUNT OF SOIL REQUIRED. WORK INTO TOP OF LOOSENED SUBGRADE TO CREATE A TRANSITION LAYER, THEN PLACE REMAINDER OF THE SOIL. SOIL TRANSITION LAYER SHALL BE TILLED TO A MINIMUM DEPTH OF 6" BELOW THE DEPTH OF NEWLY PLACED SOIL. PARKING LOT ISLANDS SHALL BE CROWNED TO A HEIGHT OF 6" TO PROVIDE PROPER DRAINAGE UNLESS OTHERWISE NOTED.
- DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
- FINISH GRADING: GRADE SOIL TO A SMOOTH, UNIFORM SURFACE PLANE WITH A LOOSE, UNIFORMLY FINE TEXTURE.
- ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES.
- RESTORE PLANTING BEDS IF ERODED OR OTHERWISE DISTURBED AFTER FINISH GRADING AND BEFORE PLANTING.

NATIVE SEEDING

ESTABLISHMENT OF A VIABLE VEGETATION COMMUNITY WITHIN THE BIO INFILTRATION BASINS WILL BE COMPLETED BY HAND-BROADCASTING OF PRE-DESIGNED SEED MIXES TO CREATE A DYNAMIC PLANTING.

PRIOR TO SEEDING:

- ALL WEEDS AND EXISTING VEGETATION SHALL BE REMOVED. EXISTING VEGETATION SHALL BE TREATED WITH GLYPHOSATE OR SIMILAR HERBICIDE BY A LICENSED PROFESSIONAL. TREATMENT SHALL OCCUR A MINIMUM OF 10 DAYS PRIOR TO SEEDING/PLANTING. VEGETATION STILL ALIVE AFTER INITIAL HERBICIDE TREATMENT SHALL BE TREATED A SECOND TIME PRIOR TO TILLING INTO THE SOIL. TREATED VEGETATION SHALL BE TILLED INTO THE SOIL NO EARLIER THAN 1 DAY PRIOR TO SEEDING.
- PREPARATION OF SOIL PRIOR TO SEEDING
 - REFER TO CIVIL PLANS FOR SOIL MIXTURE.
 - ALL FOREIGN MATERIALS LARGER THAN 1-INCH SHALL BE REMOVED FROM THE SOIL PRIOR TO SEEDING OR PLANTING.
 - AREA SHOULD BE FREE FROM UNSIGHTLY VARIATIONS, RIDGES, AND DEPRESSIONS.
 - AVOID DRIVING OVER THE SPECIFIED AREA WITH MACHINERY.

SPECIFICATIONS FOR HAND BROADCASTING:

SEEDING SHALL BE CONDUCTED IN LATE FALL (SEPTEMBER 1- SOIL FREEZE) SO THAT SEEDS MAY LIE DORMANT DURING THE WINTER, ALLOWING FOR STRATIFICATION, OR SPRING (MARCH 1-JUNE 1) TO ALLOW A COMPLETE GROWING SEASON TO BECOME ESTABLISHED.

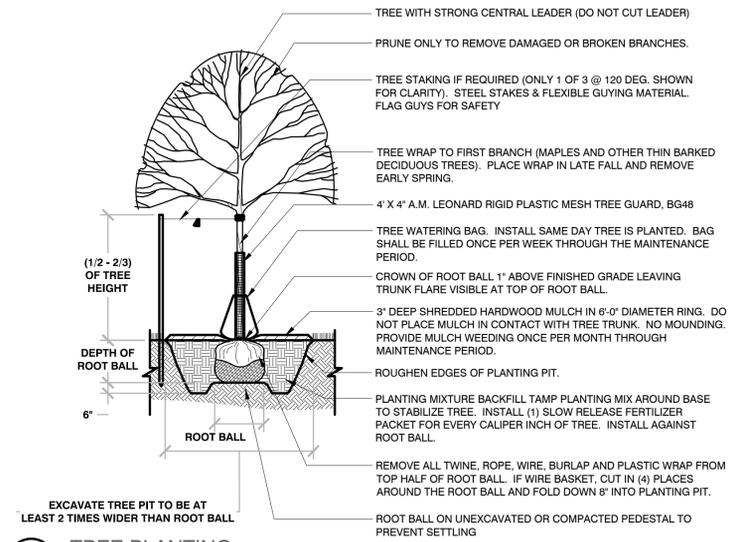
A. COVER CROP

- ANNUAL RYE SHALL BE SPREAD AT A DENSITY OF 20 POUNDS PER ACRE DURING THE PLANTING OR SEEDING OF THE NATIVE PLANT SPECIES TO STABILIZE THE SOIL AND REDUCE THE GROWTH OF UNWANTED VEGETATION. THIS ANNUAL GRASS GROWS RAPIDLY WITHOUT COMPETING WITH THE WILDFLOWERS AND GRASSES THAT ARE PLANTED IN THE TARGET AREAS.
- WINTER WHEAT OR PERENNIAL RYE SHALL NOT BE USED AS A COVER CROP. THESE GRASSES MAY OUT COMPETE PRAIRIE SEEDLINGS, LEADING TO A REDUCTION IN THE SUCCESS OF THE PLANTINGS.

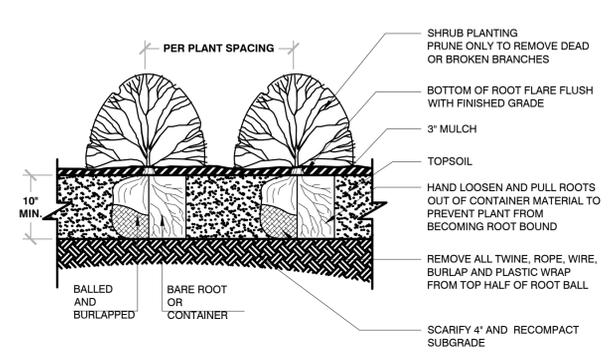
B. SEED MIX:

- MIX ALL NATIVE SEED WITH VERMICULITE ACCORDING TO AGRECOL RECOMMENDATIONS AND INSTALLATION GUIDELINES.
- BROADCAST HALF THE SEED OVER THE ENTIRE SITE OR TARGET AREA.
- BROADCAST THE OTHER HALF OF SEED PERPENDICULAR TO THE DIRECTION THAT THE FIRST HALF OF THE SEED WAS BROADCAST.
- COVER SEED WITH 1/4"-INCH TO 1/2"-INCH OF SOIL (USE ANY EXCESS SOIL FROM THE SITE) WITH RAKE OR DRAG.
- ROLL SITE TO ENSURE FIRM SEED-TO-GROUND CONTACT.
- KEEP SEED CONSTANTLY WET THROUGH GERMINATION PERIOD. GENERALLY 3 WEEKS.

ALL SEEDING SHALL BE COVERED WITH 1-INCH OF CLEAN, NON-INVASIVE STRAW (NO MARSH HAY, OR REED CANARY GRASS) WITHOUT SEEDS, WITHIN SEVEN DAYS. WHEAT, RYE, OATS, OR BARLEY ARE ACCEPTABLE FORMS OF STRAW. THOSE AREAS OF SLOPES STEEPER THAN 8:1 (EIGHT FEET HORIZONTAL TO ONE FOOT VERTICAL) SHALL BE PLANTED NO LATER THAN OCTOBER 1 AND STAKED WITH AN EROSION CONTROL BLANKET TO PREVENT EROSION.

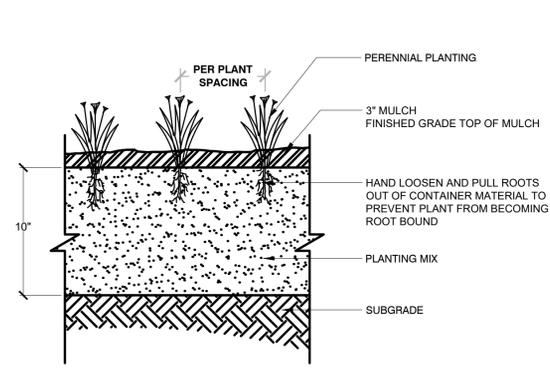


1 TREE PLANTING 1/4" = 1'-0" 32 9343-01

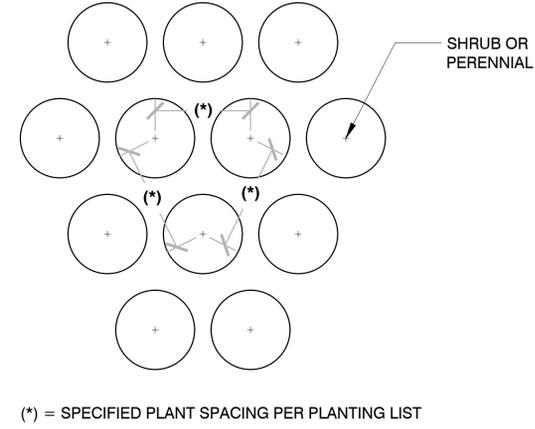


- BAREROOT PLANTING NOTES:**
- SOAK ROOTS IN WATER FOR AT LEAST ONE HOUR BUT NOT MORE THAN 24 HOURS PRIOR TO PLANTING.
 - SCARIFY SIDES AND BOTTOMS OF HOLE.
 - PROCEED WITH CORRECTIVE PRUNING OF THE TOP AND BOTTOM ROOTS.
 - TRANSFER PLANT DIRECTLY FROM WATER TO HOLE. SET PLANT SO THE ROOT FLARE IS APPROXIMATELY AT THE FINISHED SOIL ELEVATION. SPREAD ROOTS OUT EVENLY. PLUMB AND IMMEDIATELY BACKFILL WITH PLANTING SOIL MIX.
 - WATER THOROUGHLY WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
 - BACKFILL VOIDS AND WATER SECOND TIME.
 - PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.

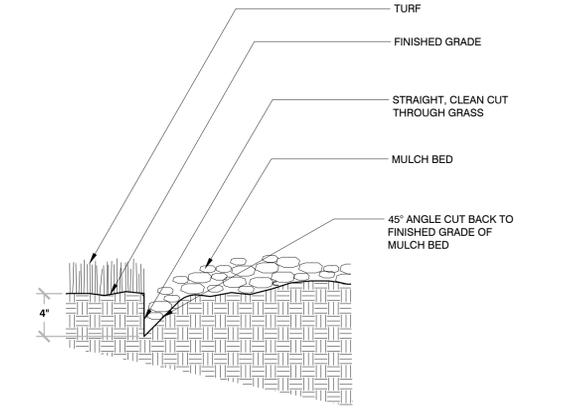
2 SHRUB PLANTING 1/2" = 1'-0" 32 9333-02



3 PERENNIAL PLANTING 1" = 1'-0" 32 93-01



4 PLANT SPACING 3/4" = 1'-0" 32 93-02



5 TRENCHED BED EDGE 3/4" = 1'-0" 32 93-03

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MR. D CAR WASH
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LANDSCAPE GENERAL NOTES & DETAILS

REVISIONS		REG. JOB NO.	MAC	SCALE	SHEET
		3005.00-WI			L-2
					OF
					L-2

PEG. JOB NO. 3005.00-WI
 MAC
 SCALE
 START DATE 08/30/23
 VARIES
 SHEET L-2 OF L-2
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DESIGNED: DUB REVIEWED: SST DATE: SAT

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ENTRANCE

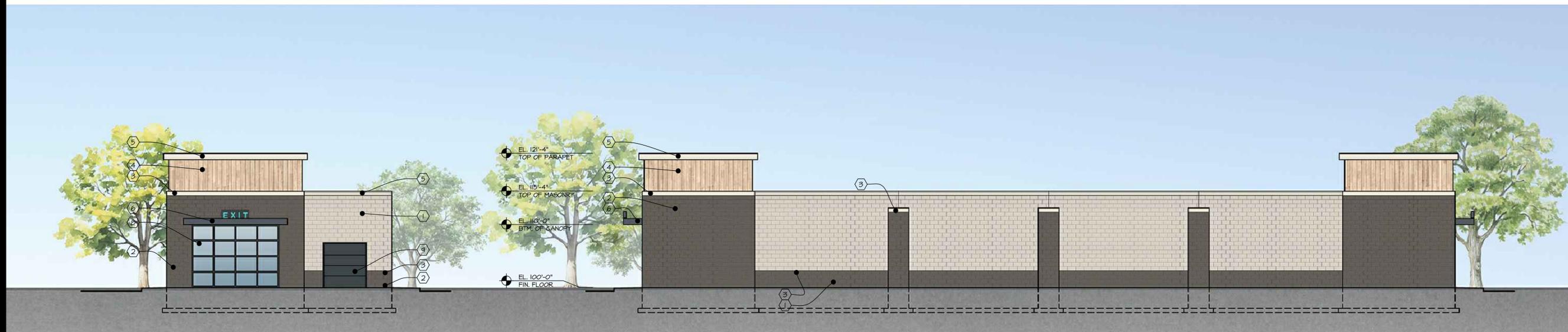
VIZIPEOP

ELEVATION CODED NOTES:

- ① 8"x16" COUNTY MATERIALS BURNISHED MASONRY UNIT - DAWN (63-240)
- ② 8"x16" COUNTY MATERIALS BURNISHED MASONRY UNIT - TWILIGHT (63-210)
- ③ 8" PRECAST ACCENT BAND
- ④ DAL TILE OAK TRAIL XT 6"x36" TILE
- ⑤ PRE-FINISHED METAL TRIM / COPING - BLACK
- ⑥ METAL CANOPY - BLACK
- ⑦ ALUMINUM STORE FRONT - BLACK
- ⑧ ALUMINUM OHD - BLACK
- ⑨ INSULATED STEEL GARAGE DOOR - BLACK

REVISIONS:

-	X



SOUTH ELEVATION

WEST ELEVATION



NORTH ELEVATION

EAST ELEVATION

PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

CARWASH

N65 W24838 MAIN ST.,
 VILLAGE OF SUSSEX, WI

SHEET TITLE:
 ELEVATIONS

A1.1

DATE: X

PROJECT #: 23-227